

HERITAGE IMPACT STATEMENT



16 – 20 Sanita Street &
35 Francis Street, Goulburn
September 2024

This statement forms part of a Development Application for:

Demolition of the four existing Post-war dwellings, outbuildings and total clearance of the sites at 16-20 Sanita Street and 35 Francis Street Goulburn, for construction of three (3), double storey blocks of residential units, an open carpark and associated landscaping. The site is in the vicinity of the Christ Church which backs on to Sanita Street; a heritage item listed in Schedule 5 of the *Goulburn Mulwaree Local Environmental Plan 2009*.

Date:

September 2024

Controls:

Goulburn Mulwaree Local Environmental Plan 2009

Goulburn Mulwaree Development Control Plan 2009 (effective 2021)

Address and Property Description:

16-20 Sanita Street Goulburn NSW 2580 &
35 Francis Street Goulburn NSW 2580
Lots 15-18 DP 782
Parish of Goulburn, County of Argyle

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1. EXECUTIVE SUMMARY

This Heritage Impact Statement has been commissioned to assess the heritage impact of the construction of three (3), double storey social housing apartment blocks, with an open carpark to the rear. The study site is located in the vicinity of *Church (1884) and Rectory*; a heritage item listed in Schedule 5 of the *Goulburn Mulwarree Local Environmental Plan 2009*.

The proposed works include:

- Demolition of the 4 post-war weatherboard houses and outbuildings at 16-20 Sanita Street and 35 Francis Street
- Removal of select trees and landscape features at the site.
- Earthworks to prepare the site
- Construction of an entry/exit driveway from Sanita Street to the open, paved carpark to be constructed in the S corner of the site.
- Construction of 3 blocks of double storey residential apartments
 - Face brick with FC panelled sections
 - Sheet metal hip roof
 - Vertically proportioned aluminium framed windows, doors, privacy screens
 - Tiled terraces and balconies with muted bronze aluminium batten balustrading
 - Exterior colour palette of warm Goulburn browns, blue-browns, greys, and muted bronze.
 - Solar panels to select roof planes
- Landscaping across site, including privacy and boundary fencing, shared pathways, boundary tree planting, medium-tall screening trees and bamboos, shrubs up to 3ms, and groundcover and grasses.

Architectural and landscape plans are at Appendix A.

The historical use of the study site since its original improvement in the late 1950s / early 1960s has been as social housing; the proposed development will continue this traditional use. The modest post-war houses on the site do not have significance in their own right, and have no garden features of any contributory value; the clearing of the site is acceptable.

The study site is in the general visual catchment of the church, located on the highest point of the hill; it has landmark qualities including its high spire and white walls. The church addresses Addison Street, so the Sanita Street elevation is to its rear and of lesser significance.

While the street has two storey properties, it is not necessarily predominately two storey. However, as this is a social housing project, the potential of the site had to be realised with a design that was greater than single storey. Mitigative measures in this respect have included the restriction of the height to max 2 storeys and to make sure that the overall height, bulk, form, detailing and colours of the study site do not compete with that of the church.

The views from the church will be respected by the screening plantings and sympathetic exterior materials and recessive colour palette which will reduce the visual prominence of the buildings at the study site. Likewise, the provision of consistent privacy fencing to the ground floor, which while 300mm over the preferred DCP height, will prevent the introduction of visually incongruent privacy screening by various residents.

The simple contemporary design takes cues from the streetscape for form, fabric and finishes. It does not mimic or compete with heritage detailing or landmark qualities. The development uses two tones of face brick observed in the historic building stock of Goulburn and uses sheet metal roofs per the surrounding area, and muted bronze battening to provide relief and interest. Vertically proportioned windows puncture the walls and covered porches and balconies provide articulation.

I am satisfied that the visual impact of the development on the setting and views of the church have been mitigated through respectful design which has resulted in an unobtrusive architectural outcome. The use of a traditional hip roofline, recessive and muted earthy tones, and the leafy setting ensures that the development will sit sympathetically in the streetscape.

Overall, it is concluded that the heritage significance of the church and rectory heritage item will not be adversely affected by the proposed works.

Based on the above, it is recommended that the proposal be **approved**.

It should also be noted that while the archeological potential of the site was deemed to be low, based on its historic context, the discovery of Aboriginal or European archaeological relics should not be ruled out. It is recommended that the following unexpected finds protocol be implemented at the site:

- In terms of archaeological potential generally, all contractors involved in the construction works should be briefed on the possibility of relics being present and advised of their legal responsibilities:
 - Historical archaeological features and deposits are afforded statutory protection by the 'relics provision'. Section 4(1) of the *Heritage Act 1977* defines 'relic' as any deposit, artefact, object or material that relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and is of State or Local heritage significance. The 'relics provision' requires that no archaeological relics be disturbed or destroyed without prior consent from the Heritage Council of NSW; and
 - The *National Parks and Wildlife Act 1974* protects Aboriginal cultural heritage in NSW. It is an offence to knowingly (or otherwise) harm or desecrate an Aboriginal object or Aboriginal place. Harm is defined to mean destroying, defacing, damaging or moving an object from the land. An Aboriginal object is legally protected irrespective of land tenure, the significance of the object and whether or not it has been recorded. The penalties for harming or desecrating Aboriginal objects and or places in NSW include significant monetary fines and the potential for imprisonment.

There are statutory protections in place for ALL archaeological features, deposits, relics and Aboriginal places; in the case that it is suspected that works have uncovered any of these, ***work should cease in that area immediately***, an exclusion zone be established, and, in the first instance, Council should be notified. An archaeologist will likely be required to attend site to assess the situation and provide advice. Works may only recommence when relevant permits have been obtained from Heritage NSW and an appropriate and approved management strategy are in place.

2. INTRODUCTION

2.1 Background

This Heritage Impact Statement has been commissioned by the landowner of 35 Francis and 16-20 Sanita Streets Goulburn ('study site'), to assess the heritage impact of the construction of a three (3), double storey residential blocks of units in the vicinity of the 1884 Christ Church, which is a heritage item listed in Schedule 5 of the *Goulburn Mulwaree Local Environmental Plan 2009* (LEP).

2.2 Site Location and Description

35 Francis Street and 20 Sanita Street occupy Lot 15 (825.6m²) and Lot 16 DP 782 (897.9m²). 16 Sanita Street is Lot 17 DP 782 (897.9m²), and 16 Sanita Street is Lot 18 DP 782 (897.9m²). The total combined area of the lots is approximately 3519.3m². 35 Francis Street is on the eastern side of the street, with 16-20 Sanita on the Southern side of that street, in the Parish of Goulburn, County of Argyle in the Goulburn Mulwaree Local Government Area.

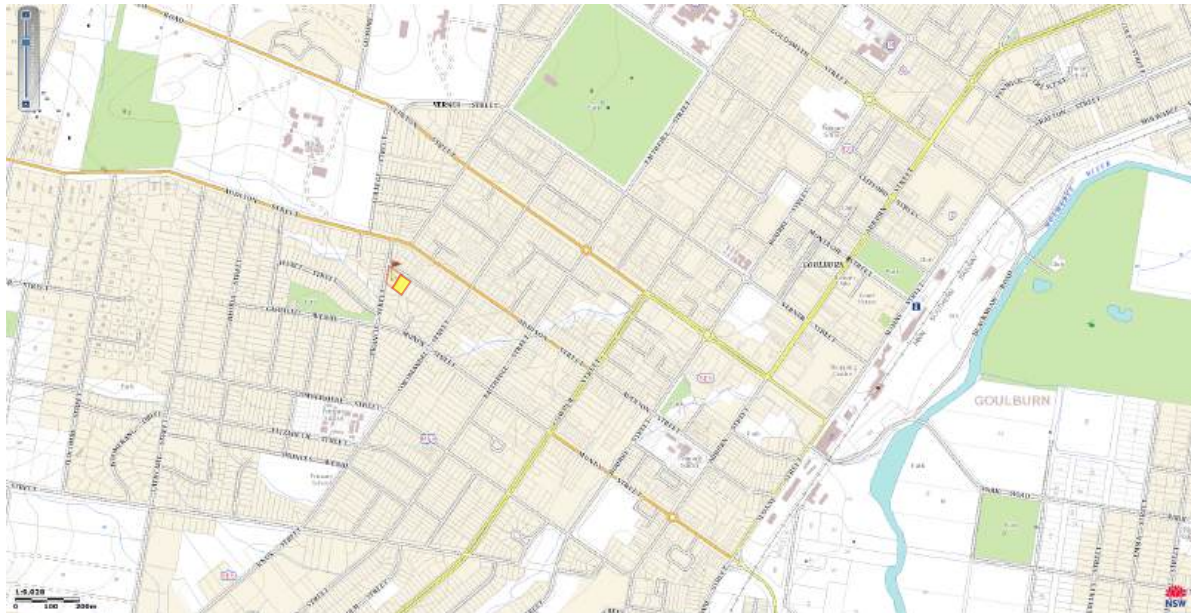


Figure 2.1 | The study site at 35 Francis and 16-20 Sanita Streets, in the Goulburn context. The study area is shaded in yellow. [SIX Maps]



Figure 2.2 | Plan of the study site (yellow) and the immediate surrounds. The heritage-listed church and adjoining rectory are NE of the study site on the lot marked Anglican Church. [SIX Maps]



Figure 2.3 | Aerial view of the study site (yellow) with lot boundaries indicated. [SIX Maps]



Figure 2.4 | Detail aerial of the study site, which contains 4 weatherboard and iron Post-war dwellings. Heritage listed church and rectory indicated with arrows. [SIX Maps]

2.3 Heritage Status

The study site is located in the vicinity of the locally significant *Church (1884) and Rectory*, heritage item I036. As such, it is subject to the heritage standards provided under the Goulburn Mulwaree LEP and Development Control Plan (DCP).

As the Rectory is out of sight of the study site, it has been excluded; the church is the main heritage subject of consideration throughout the report. Trinity Catholic College on Addison Street (at top left of image) was inspected for potential views to the site, but was also excluded given the relative distance, topography and screening of trees and buildings between the two sites.

Heritage Listings are in Appendix B.



Figure 2.5 | Heritage map showing the study site (black) in relation to nearby heritage items. Heritage items shaded in brown, conservation areas in red cross hatch. [NSW Planning Portal Spatial Viewer 2024]

2.4 Methodology

A site inspection, review of Council's planning guidelines, historical research, and assessment of the proposal was undertaken by historian and heritage consultant, Liz Gorman. The heritage impact was evaluated in light of the heritage qualities, settings and views of the items in the vicinity.

The methodology employed in this study conforms to the principles and guidelines of *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 1999*. The assessment presented is in accord with the criteria and guidelines prepared by the NSW Heritage Branch of the NSW Department of Planning for the preparation of Heritage Impact Statements.

2.5 Terminology

The terminology used in this report is consistent with the *NSW Heritage Manual* and the definitions of the *Burra Charter*.

3. HISTORICAL EVIDENCE

3.1 First Peoples: Gundungurra and Ngunnawal

Two major language groups were thought to have occupied the Goulburn Mulwaree region at the time of first European contact; the Gandangara¹ to the north of Goulburn, and the Ngun(n)awal² to the south. The Wandandian people lived on the land to the east of the Great Dividing Range, down to the coast. The 1947 map of tribal boundaries by anthropologist Norman Tindale is based on the distribution of language groups, which are derived largely from linguistic evidence published between 1840 and 1956; the boundaries are approximate, and probably varied over time.³

It has been suggested by historian, Jackson-Nakano that Tindale's tribal boundaries incorporated a number of distinct communities with their own dialects linked by kinship networks, common belief systems, ceremonies, and customs.⁴ The term 'Mulwaree' comes from an Aboriginal group that once claimed Lake George or 'Weereewaa', as part of their country. Along with the Mulwaree, were the Cookmai, the Pajong, and the Wallaballoo.⁵

Charles Macalister, writing in 1907, claimed that the three 'tribes' of Argyle were the 'Mulwaree', the 'Tarlo' and the 'Burra Burra'.

While there is conjecture about the historical groups present and their respective areas, it's also been suggested that all Aboriginal groups in its immediate surrounds may have been designated the 'Mulwaree'. There is also evidence to indicate that the 'Mulwaree' group extended to the district northeast of the township of Goulburn. In 1902, the *Goulburn Evening Penny Post* reported that the breast plate of 'Mulwaree Tommy' also known as 'King of the Cookmai' was found on a property at Taralga.⁶⁷

The majority of excavated Aboriginal sites in the Goulburn Mulwaree region date to within the last 3,000 to 5,000 years, when the local climate and environment approached modern conditions.⁸ These include open camp site of Nardoo on the eastern side of Lake George and Sassafras 1 rock shelter in Morton National Park.⁹ In the broader region, however, there is evidence of much longer occupancy; Birrigai rock shelter in the northern foothills of the Australian Alps, approximately 80km south east of the Goulburn Mulwaree LGA has established that Aboriginal people have lived in the broader region for at least 21,000 years.¹⁰ To the east, late Pleistocene occupation sites have been identified in Morton National Park, at Bulee Brook 2 dating to 18,810 ± 160 years Before Present (BP)¹¹ and Bob's Cave, dated from 10,850 ± 300 BP.¹² Recent excavations suggest that various tribes lived in the area as long ago as 15,000BP; several camps have been found around the Tarlo, Tallong, Bungonia and Marulan areas, with the one at Tallong being an extensive

¹ Also known as the Gundungurra, Gundungari, Gurra-gunga, and Burragorang.

² Also called the Ngunnawal, Ngoonawal, Wonnawal, Nungawal, Yarr, Yass tribe, Lake George, Five Islands tribe or Molonglo tribe.

³ Tindale 1974 cited in AMBS, 2012, p.12; Norman B. Tindale. 1974. *Aboriginal Tribes in Australia*. UCLA Press.

<http://www.samuseum.sa.gov.au/page/default.asp?site=2&page=tindale> cited in Edward Higginbotham & Associates Pty. Ltd, Goulburn Mulwaree Archaeological Management Plan, Vol. 1 Historical Themes, 2009, p.20.

⁴ Jackson-Nakano 2001:xxi-xxiii and 13 cited in AMBS, 2012, p.12;

⁵ Mulwaree Shire Community Heritage Study, Draft Report, p.28.

⁶ Jackson-Nakano, Ann, 2001. The Kambarri: A History of Aboriginal families in the Canberra- Queanbeyan district and surrounds 1820 – 1927, and historical overview 1928 – 200, Weereewaa history Series Volume 1, NLA Canberra cited in Mulwaree Shire Community Heritage Study, Draft Report, p.28.

⁷ Macalister, Charles, 1907. *Old Pioneering Days in the Sunny South*, Sydney cited in Mulwaree Shire Community Heritage Study, Draft Report, p.28.

⁸ Flood 1980:3,18 cited in AMBS, 2012, p.12.

⁹ ANU-106; AN U-743 and Flood 1980:249 cited in AMBS, 2012, p.12.

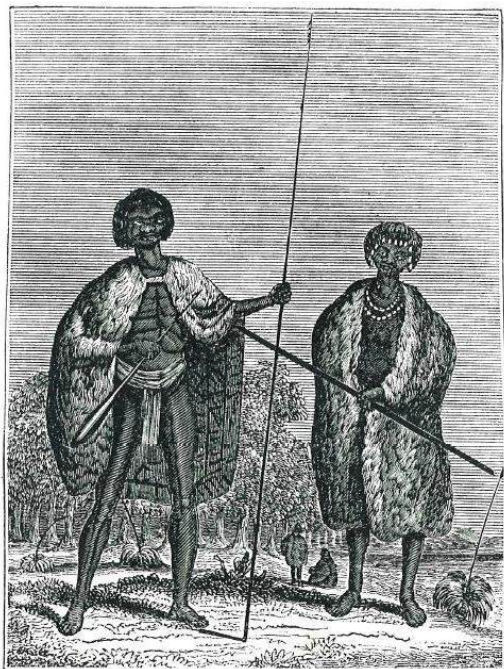
¹⁰ Flood 1996:33-35 cited in Australian Museum Business Service (AMBS), Goulburn Mulwaree LGA Aboriginal Heritage Study, 2012, p.12.

¹¹ ANU-9375 and Boot 1996:288 cited in AMBS, 2012, p.12.

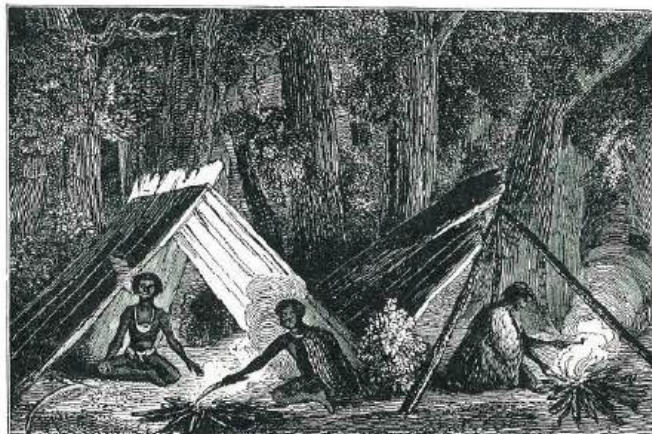
¹² ANU-8313 and Boot 1994:330 cited in AMBS, 2012, p.12.

quarry site.¹³

Travel was relatively easy across the region, enabling the locals to maintain inter-community contact.¹⁴ Large gatherings for corroborees have been recorded at Rocky Hill near the East Goulburn Anglican Church, the old railway quarry on the Wollondilly River, and Mulwaree Flats near the bridge at the brewery, as well as on the site of All Saints' Church in Eastgrove and Goulburn Railway Station.¹⁵ The naturalist, John Lhotsky, met a group of some 60 Aborigines camping at Fish River after crossing the Breadalbane Plains in 1834. He was told that they travelled as far as Goulbourn [sic], and Yass Plains, but not so far as Limestone [Canberra].¹⁶



MALE AND FEMALE NATIVES OF NEW SOUTH WALES.
Figure 3.1 | A sketch of Aboriginal people from the Mulwaree Plains 'dressed in their usual manner', 1836 [W.R. Govett, *Sketches of New South Wales*, Gaston Renard Publisher, Melbourne, 1977, p.16]



NIGHT SCENE—THE GUNYAS, OR HUTS, OF THE NATIVES.
Figure 3.2 | Gunyas at night, based on a description of an Aboriginal camp site at Tarlo [W.R. Govett, *Sketches of New South Wales*, Gaston Renard Publisher, Melbourne, 1977, p.28]

¹³ *Mulwaree Shire Community Heritage Study*, Draft Report, p.28.

¹⁴ Smith 1992:3 cited in AMBS, 2012, p.13.

¹⁵ Tazewell 1991b:243; Wyatt 1972:111-112 cited in AMBS, 2012, p.13.

¹⁶ Lhotsky 1979 [1835]:104-105.

3.2 European encounters

In March 1798 John Wilson in the company of a journal keeper, Hunter's servant a boy named Barracks,¹⁷ escorted Henry Hacking in a search for salt deposits beyond the Nepean; 'the party travelled from the Cow Pastures to the junction of the Bargo and Nepean rivers, returned to near Stone-Quarry Creek and then passed by later day Picton and Picton Lakes to Mount Jellore. From here they crossed the Wingecarribee River near Berrima to the summit Gingenbullen (Sutton Forest), past now-Marulan to the summit of Mount Towrang about six miles in a direct easterly line from where Goulburn was later established. They followed a route that was later to be roughly approximated by the main southern road.

This was the first European incursion into what became Goulburn Mulwaree. A plaque erected by the Goulburn and District Historical Society at Mount Towrang marks the terminus point of the Hacking, Wilson, Barracks expedition.¹⁸

In 1814, Hamilton Hume, forgetting the earlier expedition, laid claim to have discovered 'Argyle', the county in which Goulburn is situated. In his words:

... accompanied by my brothers, I discovered that tract of country now called Argyle. I was also there in the years 1815 and 1816, and in the year 1817, I accompanied Throsby to that part of the country.¹⁹

Nothing came of the early expeditions until 1818, when interest was again piqued. In March that year, a party including Assistant Surveyor James Meehan, Charles Throsby, Joseph Wild and Hamilton Hume travelled over the 'Mittigong Flat' and the 'Mittigong Range' along a route that was to become the first road to the Wingecarribee River.²⁰ After crossing Paddy's River and travelling to the Marulan area the party split; Throsby travelled to the coast via Kangaroo Valley while Meehan and Hume travelled to the Goulburn Plains.²¹ During this journey the Berrima, Bargo, Moss Vale, Bundanoon and Marulan districts were traversed.²² Heading west from Tallong, after crossing Barber's Creek Throsby described the country:

... Though a very rotten, stony, poor country, over a small stream of water to a beautiful piece of fine forest called Moorooaulin the country here changed in the most sudden manner from considerably barren to as picturesque and good forest as can be wished for well watered and abundant in herbage ... This country abounds in very fine granite, apparently fit for mill stones.²³

After splitting with Throsby, Meehan discovered the large Mulwaree Ponds 'with plenty of wild fowl' on the Goulburn Plains. Near the Inveralochy Bridge, where the Goulburn-Braidwood Road crosses these ponds, he noted:

Found the head and some small pieces of the skeleton of a large animal which I suppose to be amphibious. Hamilton Hume found another of the same a little behind. At 10 miles the land begins to be nearly clear on the west side of the ponds, very thin good forest on east side of them.²⁴

¹⁷ *Historical Records of Australia*, Ser. 1, vol. 2, p.715. See also R.H. Cambage, 'Exploration Beyond the Upper Nepean in 1798', *Journal of the Royal Australian Historical Society*, Vol.VI, pp.1-36.

¹⁸ Edward Higginbotham & Associates, Vol. 1, p.23.

¹⁹ Cited in Lester Firth & Associates Pty Ltd., Goulburn Heritage Study, Vol. 1, 1983, p.18.

²⁰ R.H. Cambage, 'Exploration between the Wingecarribee, Shoalhaven, Macquarie and Murrumbidgee Rivers', *JRAHS*, Vol.VII, Pt.V, 1921, pp.219-220.

²¹ J. Revitt, *Historic Berrima*, Anvill Press, Narara, 1979, p. 3.

²² Cambage, 'Exploration Beyond the Upper Nepean in 1798', pp.5-8.

²³ cited in Cambage, 'Exploration between the Wingecarribee, Shoalhaven, Macquarie and Murrumbidgee Rivers', pp.221-222.

²⁴ cited in Cambage, 'Exploration between the Wingecarribee, Shoalhaven, Macquarie and Murrumbidgee Rivers', pp.234-235.

In the vicinity of *Springfield*, Meehan wrote:

Went down the ponds, where met a very extensive plain to the northward and eastward, without trees on, is in gently sloped hills, a great part good. The landscape is beautiful, being surrounded by a chain of grassy forest hills ... the ranges are grassed the tops rocky and mixed with thin brush. There is nothing to prevent a cart being taken to here.²⁵

The closest Meehan came to the site of now-Goulburn was what became *Brisbane Grove*. One of their campsites was near the later site of Lansdowne Bridge, on the outskirts of Goulburn. Meehan is attributed with the naming of Goulburn Plains in honour of the UK Secretary of State for War and the Colonies.²⁶

In 1820 Governor Macquarie travelled as far as the site of Goulburn, selecting village sites on route and making land grants. Macquarie crossed St. Patrick's River (Paddy's River) 'on a good bridge' and 'about a mile from this little Rivulet came to the Wallandilly River' which was crossed via a rough and rocky ford. Macquarie described the country beyond the Wollondilly in the vicinity of the Mulwaree Ponds, the road passed:

... through a closer forest country along the bank of the river till it takes a sudden bend to the westward and where a small rivulet from the south-east joins it, forming at this point or junction a most extensive beautiful reach or basin. The country here opens again into very extensive plains or downs to the westward forming with the river a very rich landscape, plains and pretty little hills interspersed with them, extending 7 or 8 miles to the westward. The native name of these plains is 'Mulwarry', but which I have named 'Breadalbane Plains'. From the junction we continue our journey in a south-easterly direction till we reach the north-west boundary of 'Goulburn Plains' ... which in fact is a continuation of the Great Mulwarry Plains. Here we halted ... in a noble extensive rich meadow near a fine large pond of fresh water, the cattle being up to their bellies in as fine, long, sweet grass as I have ever saw anywhere.²⁷

When Macquarie and his party camped at the junction of the Gundary Creek with the Mulwaree Ponds, he noted two encounters with Aborigines. Some had joined the party here, others had set out with the party. The locals provided five eels caught in the Mulwaree and slept by the campfire. A hot night of 39 degrees, a violent rainstorm broke, following which the locals recovered all but two of the Governor's horses which had taken fright and stampeded.²⁸

In August 1820, Wild travelled south of the Cookbundoon Range to find a large lake (Lake George). From the hills to the north-east of Lake George, Wild saw the fires of Aborigines who appeared numerous.²⁹ Hamilton Hume made casual reference to Aborigines foraging for food between North Hill and South Hill in 1821 or 1822. Traces of the people could still be found in 2002 including stone axe heads there were quarries where these were obtained with broken heads in different stages of manufacture scattered about. Stone knives for skinning animals and mortars for preparing food have also been found.³⁰ The meadow referred to by Macquarie, is undoubtedly the product of Aboriginal land management.

²⁵ Cited in Cambage, 'Exploration between the Wingecarribee, Shoalhaven, Macquarie and Murrumbidgee Rivers', p.235.

²⁶ Firth & Associates, Vol. 1, p.18.

²⁷ Cited in Cambage, 'Exploration between the Wingecarribee, Shoalhaven, Macquarie and Murrumbidgee Rivers', p.266.

²⁸ *Mulwaree Shire Community Heritage Study*, Draft Report, pp.28-29.

²⁹ Watson 1931 and Flood 1980:35 cited in AMBS, 2012, p.13.

³⁰ *Mulwaree Shire Community Heritage Study*, Draft Report, p.29.

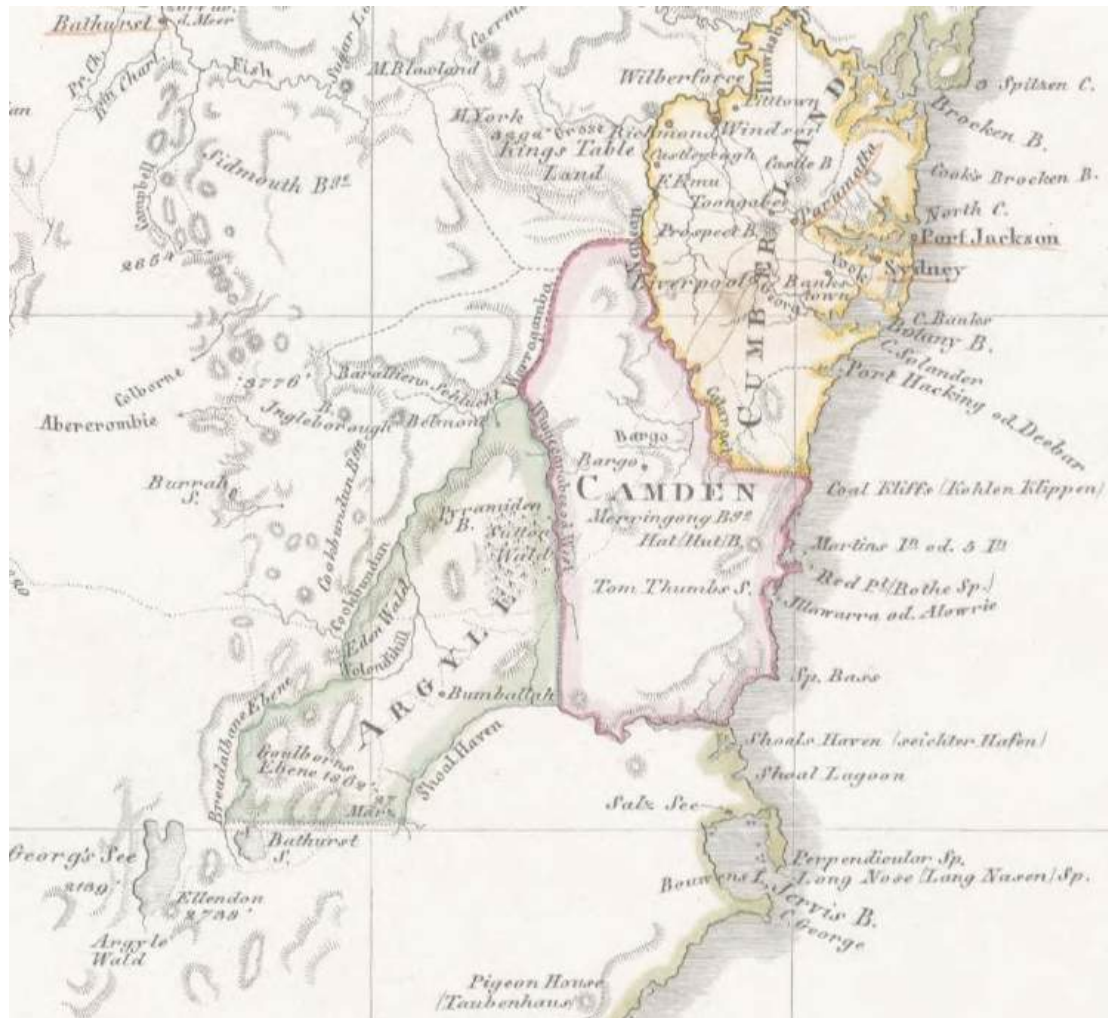


Figure 3.3 | *The Interior of New South Wales*, by John Oxley. This map, printed in Germany in 1828, records the extent of exploration by John Oxley and others in 1822. It also shows the settled districts up to that date. Outside the County of Cumberland (Cumberland Plain), the Counties of Camden and Argyle are the only areas delineated. [Source: National Library of Australia. Map Rm 3599.]

Land grants marked the official occupation of Gundungurra and Ngunnawal country. Colonial settlement in the Goulburn Mulwarree district followed, with twenty or more stations, including *Rossville*, *Baw Baw*, *Cardross*, *Lansdowne*, *Maxton*, *Strathallen*, *Springfield* and *Tirranna* were settled by the end of the 1820s, well before the township of Goulburn was surveyed and built.³¹

Initially the land was used as ‘stock stations’ occupied under ‘tickets of occupation’ by Cumberland Plain property owners. While the focus of c1820 colonisation was the Bathurst area, by 1828 Argyle had a higher percentage of colonial born and ex-convict occupiers than any other district.

Despite a number of local histories claiming that European settlement in the region was remarkable for being one of the few at which there was no feud, there were a number of violent incidents between Aboriginal people and European pastoralists recorded in the 1820s.³²

³¹ Firth, Vol.1, p.2. *Tirranna* was still owned in 2004 by descendants of the original settler, Dr Andrew Gibson, the Assistant Colonial Surgeon, who took up the land grant in 1828; Mulwarree Shire Community Heritage Study, Draft Report, p.36.

³² Young Folks 31/08/1897, cited by Smith 1992:17; Wyatt 1972:110 cited in AMBS, 2012, p.14; Jackson-Nakano 2001:25; Smith 1989:12 cited in AMBS, 2012, p.14; *The Monitor* 29/11/1827, p6; Jackson-Nakano 2001:25-26 cited in AMBS, 2012, p.14.

An 1826 'Government Notice' regarding a retaliation incident made it clear that hostility likely stemmed from the actions of stockmen:

The Governor is concerned to think, from the Reports He has received, that the Proceedings of the Natives are the Effect of Resentment at the Outrages committed upon them by Stock-keepers, who interfere with their Women, and by such, and other Acts of Aggression, provoke them to retaliate.³³

The change in land use had a serious impact on the availability to the Gundungurra and Ngunnawal of once abundant natural resources. In the mid 1830s Govett noted that:

The kangaroos have either been killed, or have fled in search of more retired forests. Sheep and cattle have taken their place, the emu and turkey are seldom seen, the millions of parrots have even become scarce ...³⁴

According to oral tradition passed down from Gundungurra elders there are undocumented massacre sites at Narrambulla Creek and the Eastgrove sporting ovals.³⁵ Although the tradition and locations of the sites are unverified, this was an issue raised by Pejar LALC as being an important aspect of the interactions between Europeans and the local Aboriginal community in the 2012 Aboriginal Heritage Study.

As the European occupation progressed, the locals continued to practice their customs as best they could and as circumstances allowed.³⁶ The alluvial flats along the Wollondilly River, near the junction with the Nattai River, was another place where groups gathered, including those from Goulburn and the Shoalhaven district until c.1893.³⁷ The connection between the Goulburn and Shoalhaven groups is illustrated by a Gundungurra dreaming story about Gurangatch and Mirrigan the fisherman, which describes how the Wollondilly River and Wombeyan Caves were created. The story ends at the boundary of Goulburn Mulwaree LGA, where a Shoalhaven River story starts.³⁸

3.3 Township of Goulburn

The site of present-day Goulburn was selected by Governor, Sir Richard Bourke, on a visit to Argyle in June 1832. This followed his objection to the 1829 plans for the northern 'Goulburn Plains' site as the future town on the grounds of flood susceptibility and the revised location of the main south road. The new site was to the south west, above the Mulwaree Ponds. Surveyor Govett prepared a plan, and the allotments were marked on the ground by Surveyor Hoddle in 1833. The plan was gazetted as the 'Town of Goulburn' on 21 January 1833. (See Map No.2).³⁹ This 'new township' was planned on the standard rectangular grid or chequerboard pattern favoured at the time. Sections were generally 10 chns x 10 chns (200 m x 200 m), while the original allotments had 1 chn (20 m) frontages and 5 chn (100 m) depths. Streets 99 ft (30 m) wide separated the sections. Although little regard was paid to contours, the surveyor's variation of the pattern to give townscape prominence to a site for a church (St Saviours) shows a degree of town planning skill, together with engineering practicality.⁴⁰

The plan of eight town blocks bounded by Sloane, Goldsmith, Bourke and Clinton Streets was aligned with the course of the Mulwaree River at some 25° east of north, and now contains many of the city's most important historic buildings. This was at variance to the pattern of the earlier northern settlement which was retained and is the reason for the breaking alignment of Goulburn's streets.

³³ *The Sydney Gazette and New South Wales Advertiser* 10/05/1826, p.1 cited in AMBS, 2012, p.14.

³⁴ Govett 1977 [1836-7]:2 cited in AMBS, 2012, p.15.

³⁵ D. Freeman pers. comm. 25/05/2011 cited in AMBS, 2012, p.14.

³⁶ Flood 1980:71-73 cited in AMBS, 2012, p.13.

³⁷ Etheridge1893a:50 cited in AMBS, 2012, p.13.

³⁸ D. Freeman pers. comm. 25/05/2011 cited in AMBS, 2012, p.13.

³⁹ Firth, Vol. 1, p. 25.

⁴⁰ Firth, Vol. 1, p. 25.

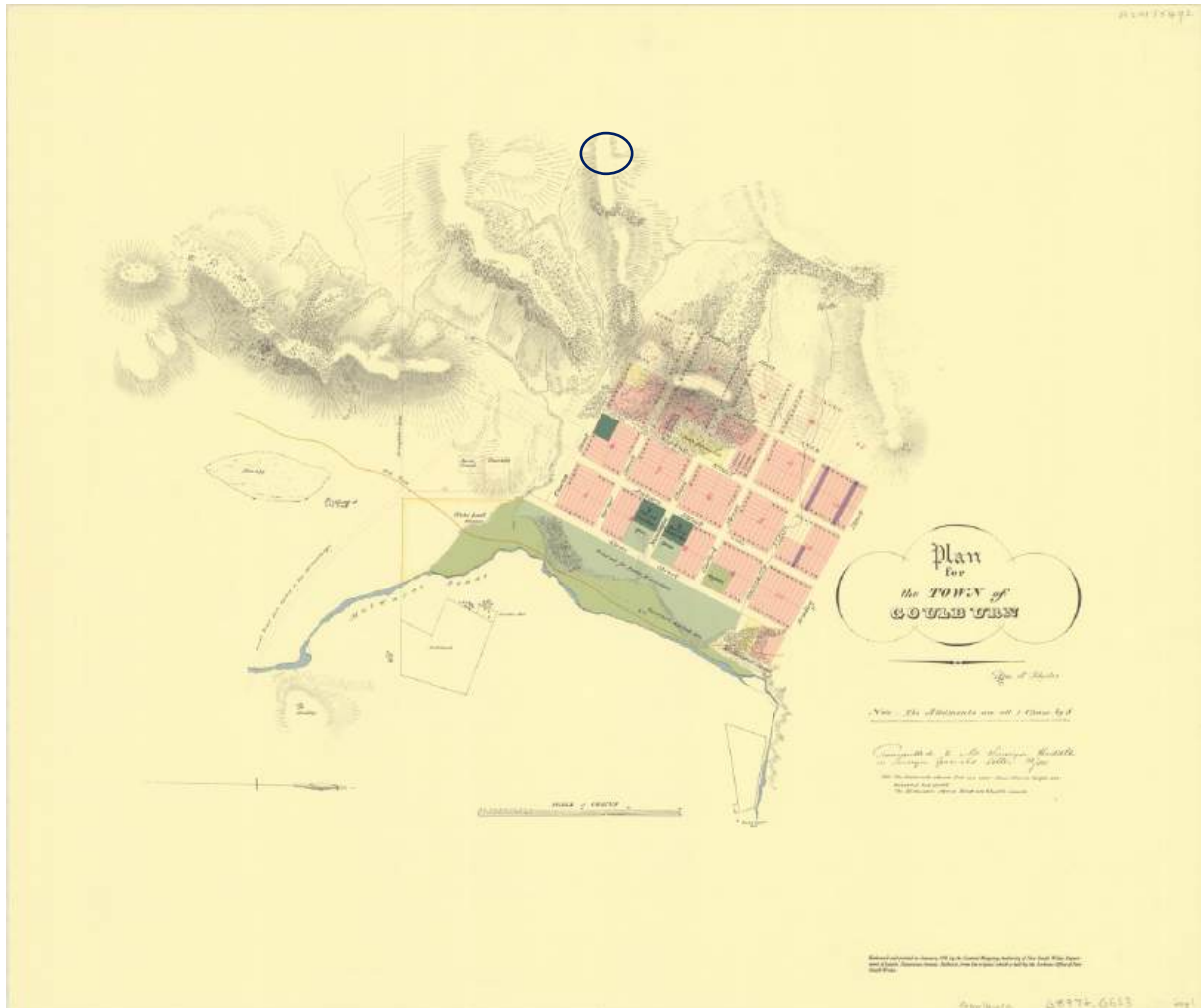


Figure 3.5 | *Plan for the town of Goulburn*. Approximate location of the study site is circled. [NLA: New South Wales. Department of Lands and Central Mapping Authority of New South Wales, 1833, <http://nla.gov.au/nla.obj-1532741119>]

3.4 Sanita Street

The land where study site is located was sold by the Crown at auction on the 27th of September 1867; being suburban portions 78 and 79 of the Goulburn Town Reserve.⁴¹ The land, along with others in the triangular block between Addison and Combermere Streets was purchased by Goulburn storekeeper Owen Furner. Furner also owned the land of the nearby Christ Church and rectory.

On the 13th December 1881, Furner of the Goulburn General Store, sold both lots to Thomas Marsden, esquire of Goulburn. Marsden had acquired Portions 77, 80 and 81 in addition. He promptly consolidated the lands before subdividing it as Deposited Plan 782; the plan was signed by licensed surveyor R.L. Murray on the 9th December 1881.⁴²

⁴¹ LRS: CT Vol. 73 Fols 203 - 204

⁴² LRS: DP 782



Figure 3.6 | 1882 Parish map of Goulburn, Sheet 1. Portion containing the study site is outlined in yellow. [LRS: AO Map 940]

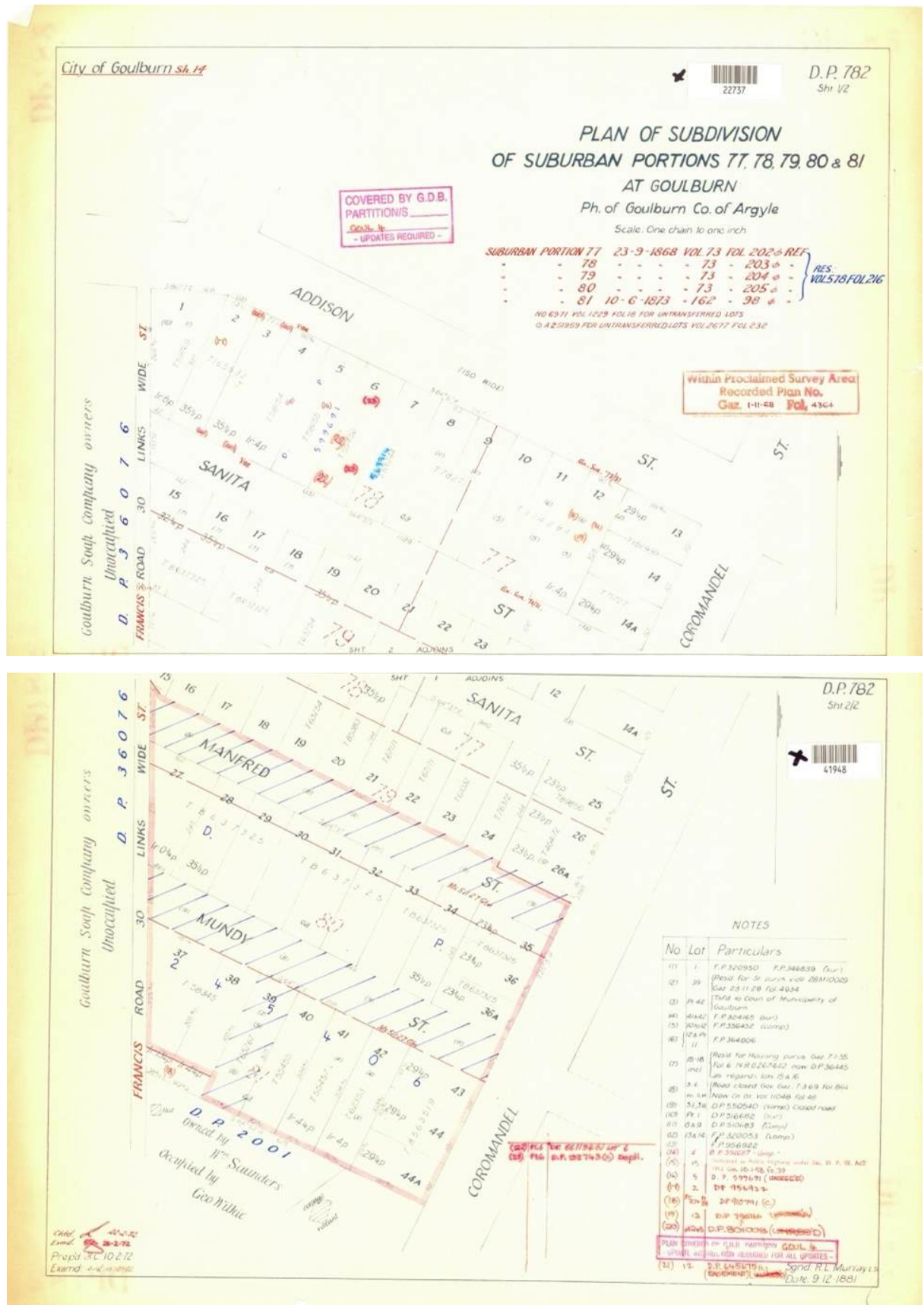


Figure 3.7 | Deposited Plan 782, December 1881. Manfred Street never eventuated. [LRS]

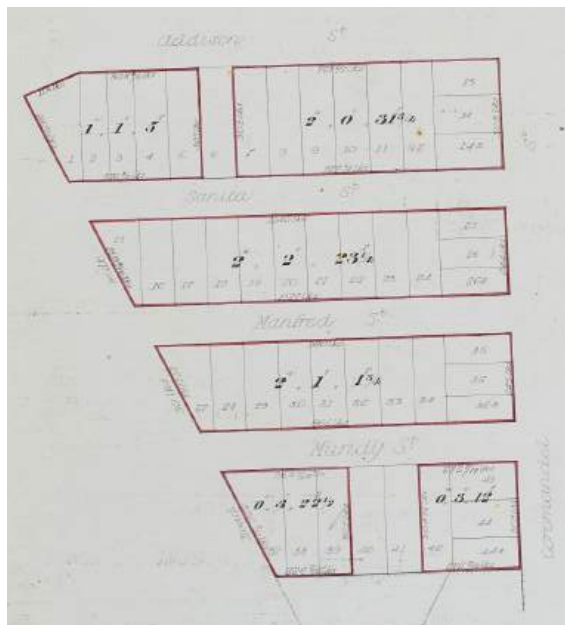


Figure 3.8 | Thomas Marsden's consolidated land holdings containing the study site from the 1882 title deed. [LRS: CT Vol. 578 Fol. 216]

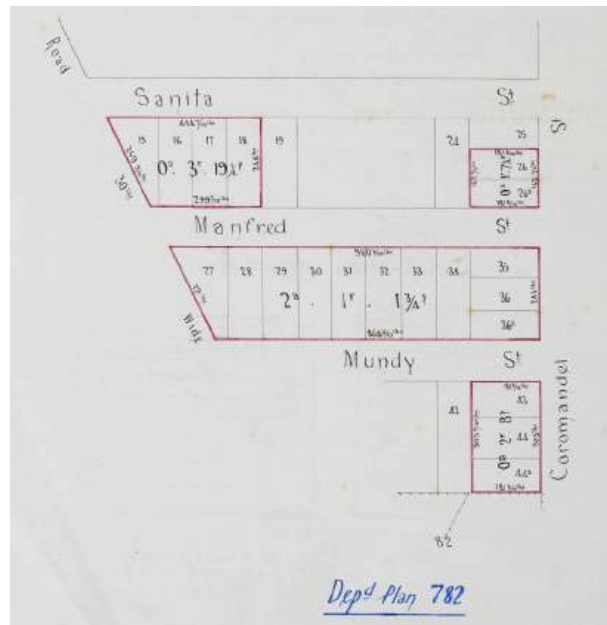


Figure 3.9 | 1897 title for Thomas Marsden, and subsequently the trustees of his estate. [LRS: CT 1229-18]

Lot 6 of DP 782 was the first sale recorded on the title, transferred on the 20th February 1882.⁴³ The rest started to follow from late May that year.⁴⁴ The property passed to Thomas's wife Christina on his unexpected death from a suspected heart attack at the end of February 1897. An August 1897 title certificate showing Marsden's residue from the 1882 sale includes the study site's Lots 15-18. With no children from the marriage, Christina's brother-in-law James Marsden, a grazier at nearby Binda, became her joint trustee in July 1902.⁴⁵

On the 12th March 1907, Annie Amelia Pattison Palmer of Randwick purchased majority the residue independently, with Lot 26 and 26a in partnership with Sarah Jane Milton.⁴⁶

The land containing the study site transferred to William Harrington Palmer 'Official Assignee' in December 1921. In October 1927 the mortgagee, Emmaline Mai Norris, wife of Sydney solicitor Edward Norris, exercised her power of sale of Lots 43, 44, and 44A at Coromandel Street, selling them to Goulburn Council. She then sold the remainder of the lots in Sanita and 'Manfred Street' to Merrylands stonemason, George Joshua Moxon in February 1928.⁴⁷

The Public Trustee took over Moxon's estate on his death in August 1940; selling the 'Manfred Street' block to Goulburn Council in January 1950.⁴⁸

Lots 15-18, comprising the study site, returned to the Crown on the 29th March 1955, on the sale to the Housing Commission of New South Wales. It has been retained by that department, now called Homes NSW, since that time.⁴⁹

⁴³ LRS: CT Vol. 73 Fol. 204

⁴⁴ LRS: CT Vol. 578 Fol. 216

⁴⁵ Goulburn Evening Penny Post, 23 February 1897, p.4; LRS: CT Vol. 1229 Fol. 18

⁴⁶ LRS: CT Vol. 1229 Fol. 18

⁴⁷ LRS: CT Vol. 2667 Fol. 232

⁴⁸ LRS CT Vol. 4141 Fol. 87

⁴⁹ LRS: CT Vol. 7009 Fol. 238; CTs 15-18/782

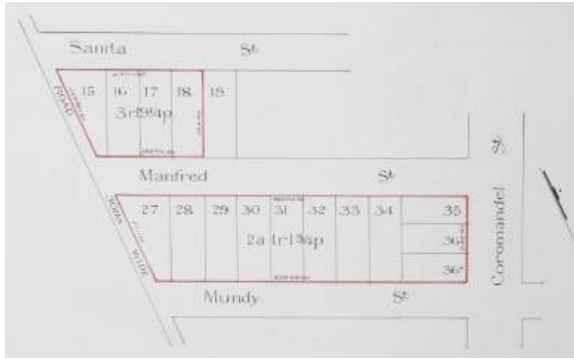


Figure 3.10 | Annie Palmer's land holdings, purchased in March 1907 from Christina and James Marsden. [LRS: CT 2677-232]

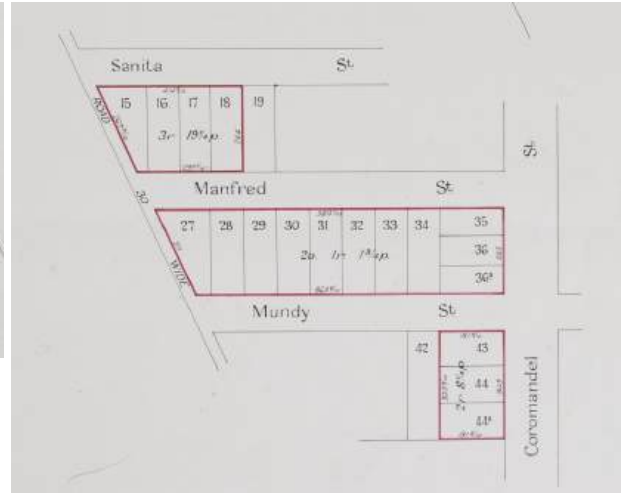


Figure 3.11 | George Moxon's land, purchased in 1928 from the mortgagee sale. [LRS: CT 4141-87]

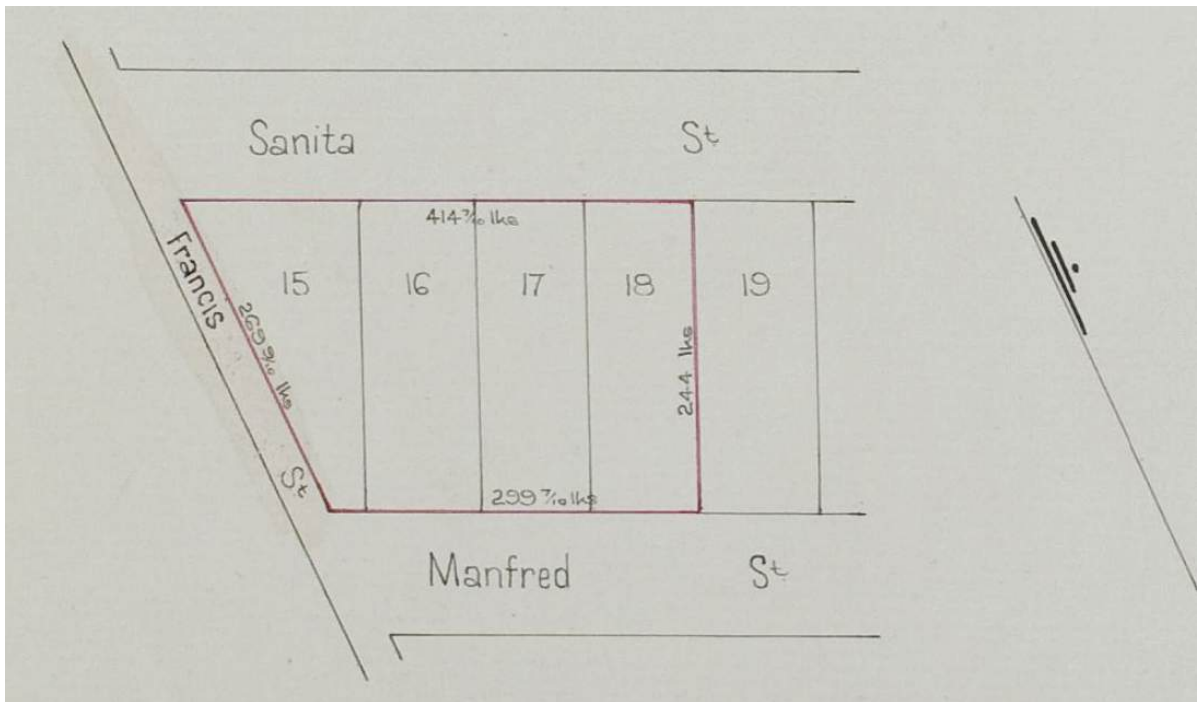


Figure 3.12 | The study site, purchased by the Housing Commission in 1955. [LRS: CT 4141-87]



Figure 3.13 | 1 April 1944. The study site empty of structures. The church and rectory are present on Sanita / Addison Street. [Geoscience Australia: 1 April 1944, Goulburn Map 1084, Frame 97895]



Figure 3.14 | 25 February 1953. The study site is not improved. [Geoscience Australia: 25 February 1953, Goulburn SVY1462, Frame 5028]



Figure 3.15 | 12 January 1967. The study site was improved with the existing 4 houses by the NSW Housing Commission at a time from the mid 1950s-late 1960s [NSWDSC Spatial Services: 12 January 1967, Img 1482_05_129]

4. PHYSICAL EVIDENCE

4.1 16 – 20 Sanita Street and 35 Francis Street Goulburn

The above study site consists of 4 low-density residential allotments each containing a post-1955, pre-1967 single storey brick-based weatherboard and hipped iron roof house with face brick chimney and aluminum framed windows.

The gardens of all allotments are largely lawn, with few trees, shrubs or hedging apparent. Each house has a concrete wheel strip driveway, and boundary fences of either colorbond paneling, timber paling or tubular aluminium.

35 Francis Street and 16 Sanita Street have each have one medium sized metal garden shed in their rear yard.

The following photographs further describe the properties, the heritage item in the vicinity, and the streetscape.

4.2 Site Photographs

4.2.1 Study site



Figure 4.1 | View to 16 Sanita Street from the northern side of the road, with 18 to right with red roof. 16 is the closest to the item.



Figure 4.2 | 16 Sanita Street.



Figure 4.3 | 18 Sanita Street, red roof, with 20 Sanita at right.



Figure 4.4 | 16 and 18 Sanita Street.



Figure 4.5 | 18 Sanita Street, with 20 at right.

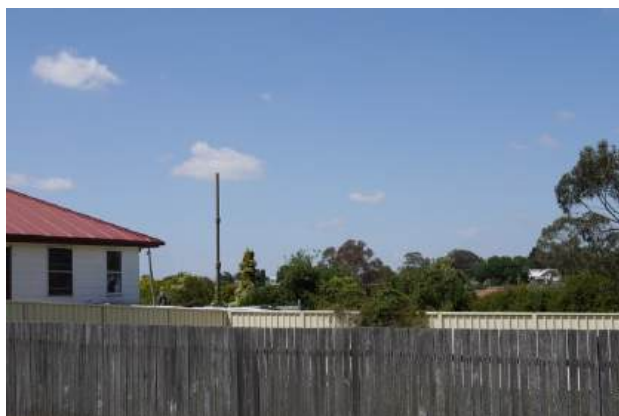


Figure 4.6 | View S across the Sanita Street yard of No. 20. 18 Sanita Street at left.



Figure 4.7 | Looking W at 20 Sanita Street.



Figure 4.8 | 20 Sanita Street front elevation.



Figure 4.9 | View SE along the front of the 3 lots consisting the Sanita Street frontage.



Figure 4.10 | View of the Francis Street elevation of 20 Sanita Street.



Figure 4.11 | View E toward the study site, with the spire of the church in the background. 35 Francis Street is at right.



Figure 4.12 | 35 Francis Street



Figure 4.13 | 35 Francis Street and view to the rear of the Sanita Street lots.



Figure 4.14 | View NE from 35 Francis Street to the rear of the Sanita Street properties.

4.2.2 Church & Rectory and associated views



Figure 4.15 | Looking SW at the front entrance of the heritage listed church from the carpark off Addison Road. Sanita Street is the now-rear of the church (arrow)



Figure 4.16 | Looking NE at the Sanita Street elevation of the church.



Figure 4.17 | View NW to the Sanita Street church and its various outbuildings. The rectory allotment is to the right with the green fence.



Figure 4.18 | The church rectory addresses Addison Street and is set back well behind the church. It has no views to the study site.



Figure 4.19 | View SW from the Sanita Street end of the rectory lot toward the study site.



Figure 4.20 | View W from the Sanita Street gate of the church toward the study site.



Figure 4.21 | View from the Sanita Street church lot of the study site.



Figure 4.22 | Church lot looking toward the study site.



Figure 4.23 | Looking toward the church from in between 20 and 18 Sanita Street.



Figure 4.24 | View to church from driveway of 18 Sanita.



Figure 4.25 | View to church from the NE corner of 16 Sanita Street.

5. HERITAGE SIGNIFICANCE

The study site is in the vicinity of the locally significant heritage item 'Church (1884) and Rectory'; the Statement of Significance is as follows:

Christ Church is a building of local significance, designed by the first rector of West Goulburn Parish, Rev. Canon Soares c. 1884. It remains a prominent landmark in the West Goulburn area. Additions to the building have been sympathetic to the original design.

The rectory next to the church is a fine example of an early 1900s home, with Gothic detailing. It was designed by E C Manfred and was originally built for A W Bullen in 1886 and extended in 1892. In 1906 Bullen was the first Shire Clerk for Mulwaree Council. The house was purchased by the Anglican Church in 1957.⁵⁰

⁵⁰ Heritage NSW: 'Church (1884) and Rectory', State Heritage Inventory item #2930004

6. THE PROPOSAL

The proposal seeks to construct three (3), double storey social housing apartment blocks, with an open carpark to the rear.

The works include:

- Demolition of the residences and outbuildings at 16-20 Sanita Street and 35 Francis Street
- Removal of select trees and landscape features at the site.
- Earthworks to prepare the site
- Construction of an entry/exit driveway from Sanita Street to the open, paved carpark to be constructed in the S corner of the site.
- Construction of 3 blocks of double storey residential apartments:
 - Face brick with FC panelled sections
 - Sheet metal hip roof
 - Vertically proportioned aluminium framed windows, doors, privacy screens
 - Tiled terraces and balconies with muted bronze aluminium batten balustrading
 - Exterior colour palette of warm Goulburn browns, blue-browns, greys, and muted bronze.
 - Solar panels to select roof planes
- Landscaping across site, including privacy and boundary fencing, shared pathways, boundary tree planting, medium-tall screening trees and bamboos, shrubs up to 3ms, and groundcover and grasses.

See architectural and landscape plans in Appendix A.

7. PLANNING POLICY / ASSESSMENT OF HERITAGE IMPACT

7.1 Goulburn Mulwaree Local Environmental Plan 2009

Heritage provisions are contained in Clause 5.10 of the LEP 2009. The proposed development has been assessed against the following relevant provisions:

LEP Provision	Compliance Comments
<p>5. Heritage assessment</p> <p>The consent authority may, before granting consent to any development:</p> <ul style="list-style-type: none"> (a) on land on which a heritage item is located, or (b) on land that is within a heritage conservation area, or (c) on land that is within the vicinity of land referred to in paragraph (a) or (b), <p>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</p>	<p>This statement of heritage impact has been written to satisfy this requirement as 16-20 Sanita Street is identified as (c).</p>

7.2 Goulburn Mulwaree Development Control Plan 2009

The proposed development has been assessed against the relevant heritage provisions directly pertaining to development in the vicinity of heritage items which are contained in Part 3 of the DCP 2009.

DCP control	Comments
3.3 General Heritage Item and Conservation Area Controls	
3.3.1 Context	
B. Except as allowed by “car parking” and “fences” in Sections 3.3.1.2 and 3.3.1.3 below, no new structures should be built forward of the established street building line.	Compliant. No new buildings are being built past the established forward building line of Sanita Street.
D. The established landscape character of the locality including height of canopy and density of boundary landscape plantings should be retained in any new development.	Complaint. The street trees are being retained and protected, and new boundary trees and hedging introduced. The landscape character of the area is largely lawn, scattered with medium trees and shrubs and plantings grouped along boundaries.
E. Development in the vicinity of a Heritage Item should respect the visual curtilage of that Item and protection of views to and from the item.	Compliant. The design and siting of the blocks are the result of mitigative measures to reduce the impact on views to/from the southern side and spire of the church. Views to have been enabled by limiting the blocks to 2 storey only, and the setback from the E boundary shared with 14 Sanita Street. The views from the church will be respected by the screening plantings and sympathetic exterior materials and colour palette which will reduce the visual prominence of the buildings.
F. New developments must respect the existing significance of the streetscape and the vicinity.	Complaint. While the street is not in an HCA, the development is sited in an area of less heritage character, being the W end of Sanita Street. This is predominately post-war and later 20 th century housing, whereas the E end of Sanita Street is late 19 th and early 20 th century.
G. Use design elements that exist in the streetscape to guide the design of new structures.	The new development is appropriately grouped near later development and takes its cues from the surrounding streetscape in terms of roof form and cladding, brick colours, and verandahs/porches.
H. Ensure scale and size of development is compatible with neighbouring development and the streetscape generally.	The scale in the surrounding area is a mix of single and double storey development; the proposed development has been limited to double storey and articulated to reduce bulk and massing of the apartment blocks.
3.3.8 Development in the vicinity of a heritage item	
A. Development on land adjacent to, or within the vicinity of a heritage item should not detract from the identified significance or setting of the heritage building or the heritage conservation area.	<p>Compliant. The Sanita Street frontage of the study site is diagonally in the vicinity of the heritage listed Church which has landmark qualities. It is not located in a HCA.</p> <p>The design of the development has been mitigated to restrict the height to max 2 storeys and to make sure that the overall height, bulk, form, detailing</p>

	and colours of the study site do not compete with that of the church, which has landmark qualities. The Sanita Street setting of the church is of a tree-lined street with single and double storey hip or gable roofed residences set in gardens. The development will fit into this setting with its form, fabric, recessive colour palette and landscape plantings.
B. Where development is proposed adjacent to or within the vicinity of a heritage item, the following matters must be taken into consideration:	
1) The character, siting, bulk, scale, height and external appearance of the development;	See comments above.
2) The visual relationship between the proposed development and the heritage item;	The visual relationship is as a contributor to the setting of the item. The views from the rear of the church are less significant, but the landscape plan provides adequate plantings to screen and supplement the existing street trees.
3) The potential for overshadowing of the adjoining heritage item;	Not applicable. The development is across and down the street from the item.
4) The colours and textures of materials proposed to be used in the development;	Compliant. A recessive palette of cool dark brown brick ('Bowral Blue'), with accent areas of Goulburn warm reddish-brown brick, charcoal greys and muted bronze.
5) Maintenance of original or significant landscaping;	Not applicable. There is no significant landscaping to retain. The landscape plan proposed sympathetic screening trees and shrubs to soften the built elements.
6) The landscaping and fencing of the proposed development;	Visually penetrable fences have been included at ground level. The landscaping plan provided for a multi-level planting plan that will provide screening and soften the built aspect of the site.
7) The location of car parking spaces and access ways into the development;	A single driveway and crossover will enter from Sanita Street to an open, on-grade carpark which will be concealed from view of the street by the 3 apartment blocks.
8) The impact of any proposed advertising signs or structures;	Not applicable. Residential development.
9) the interpretation of any archaeological features associated with the heritage item;	Not applicable. Site not associated with the church.
10) The maintenance of the existing streetscape, where the streetscape has significance to the heritage site including impact on grassed verges in the road reserve;	The streetscape is not so inexorably linked to the church, being its rear entrance, forming more of general context/setting instead. Despite this, the proposed development will retain the street trees and add more to maintain the views of the general streetscape from the church.
11) The significance or integrity of any archaeological remains;	The archaeological potential of the site is thought to be very low given the historical context. However, it should never be ruled out, so an unexpected finds protocol is in the recommendations section in case.

12) The impact the proposed use would have on the amenity of the heritage site; and	There may be an increase of traffic in the street, given the increase in residential density. While there is off-street carparking available, there may be an increase in on street parking. This is not thought to impact the amenity of the church, as its entrance and carpark is via Addison Street.
13) The effect the construction phase will have on the well-being of a heritage building.	The study site is down and away from the church, however all mitigative measures should be put in place during the demolition and construction phase to ensure no impact on the amenity or fabric of the church.
C. Development in the vicinity of a heritage item should give strong regard to any significant views to and from the heritage item and any public domain area.	The design and siting of the blocks are the result of mitigative measures to reduce the impact on views to/from the southern side and spire of the church. Views to have been enabled by limiting the blocks to 2 storey only, and the setback from the E boundary shared with 14 Sanita Street. The views from the church will be respected by the screening plantings and sympathetic exterior materials and colour palette which will reduce the visual prominence of the buildings.
D. Where subdivision is proposed in the vicinity of a heritage item, the impact of future development of the lots should be considered.	This is an amalgamation but is resulting in the densification of residential development as would a subdivision. The increase in density has been considered but it is considered to not have an adverse impact on the church.
E. Any new development should:	
1) Complement, not compete, with the elements that contribute to the uniqueness and heritage significance;	Compliant. The new development takes cues from the streetscape to be complementary and to not compete with the landmark qualities of the church. It employs a receive materials and colour palette and will be screened with trees and shrubs.
2) Not overshadow or impede existing views;	Compliant. The study site is located across the street and down and away from the church, so it cannot overshadow. The existing views are being maintained by additional tree and shrub plantings to maintain the landscaped garden views which form the setting of the church.
3) Not visually dominate, compete or be incompatible with the form of the heritage item;	Compliant. The maximum height, bulk, scale and massing has all be limited to ensure that the landmark status of the church is conserved. The church is on the highest part of the street, has a high spire and is in a visually dominant white colour. The proposal is on the lower side of the street and uses recessive dark brown/charcoal greys and screening plants to reduce its visual impact.
4) Be contemporary in design, however the scale, form, bulk and detail of the proposal must not detract from the scale, form, unity, cohesion and predominant character of the heritage item;	Compliant. The design is contemporary, and the maximum height, bulk, scale and massing has all be limited to ensure that the landmark status of the church is conserved. The church is on the highest part of the street, has a high spire and is in a

	visually dominant white colour. The proposal is on the lower side of the street and uses recessive dark brown/charcoal greys and screening plants to reduce its visual impact.
5) Avoid making a replica copy of a heritage item; and	Compliant.
6) Be kept simple and must not use a mixture of features from different eras or add heritage features to new buildings.	Compliant. The design is visually cohesive and uses a minimal mix of 'features' to articulate façade or form. It uses the two tones of brick that are common in Goulburn, with areas of panelling and battening to provide textural interest. The design is contemporary in nature, using cues of form and fabric to sympathise with the character of the street.
3.3.10 Multi Dwelling Housing Developments	
A. Building bulk is to be minimised through separating out garages under a different roof form, following natural ground levels to avoid abrupt changes of level, and separating large floor areas into separately roofed areas.	Compliant. The potential building bulk has been broken up into 3 apartment blocks, which are appropriately articulated to avoid large expanses of blank wall. The design responds to the topography of the site and will be cohesive across the 3 buildings.
B. The first (or leading) unit in a group is to face the primary street frontage and its design should be compatible with the adjoining streetscape.	Compliant. The leading block in this case is Block C, at now-16 Sanita Street. It addresses the street and is compatible with the streetscape in terms of form, materials, and colours.
C. Adequate visual and sound privacy between units achieved by brick party walls between semi-detached units and by having windows that do not face each other.	Compliant.
D. Proposals for multi dwelling housing near heritage items or within heritage conservation areas should include:	
1) A detailed landscape plan showing fencing, plant species, paving and plot sizes;	Compliant. Landscape plan is attached.
2) A schedule of materials and finishes;	Compliant.
3) Scale and form of adjoining development should be reflected in housing design;	The form of the adjoining streetscape is reflected in the design.
4) Show consistency with ground contours;	Compliant. The development responds to the topography of the site.
5) Reflect vertically proportioned traditional window types;	Compliant. The development uses vertically proportioned windows, which puncture the walls
6) Steep pitched roofs;	The buildings have a pitched roof in a hip profile.
7) Address the street;	Compliant.
8) Separate garage roofing;	Not applicable. Open carpark at rear.
9) Simple verandah forms; and	Compliant.

10) Not imitate heritage elements.	Compliant. The design is contemporary.
3.3.12 Building Materials, Colours and Finishes	
B. New work should:	Compliant. The simple contemporary design takes cues from the streetscape for form, fabric and finishes. It does not mimic or compete with heritage detailing or landmark qualities.
1) Adopt a simple character which uses external finishes, colours and textures which complement the heritage fabric, rather than mimic inappropriate heritage decoration and/ or detailing;	
2) Select materials to be compatible, but not necessarily matching the materials of the building;	Not applicable. Not altering a heritage item or a building in a HCA.
3) Use materials that complement the period and style of the heritage item;	Not applicable. Not altering a heritage item.
4) Employ finishes that are compatible with the heritage significance and character of the heritage item they adjoin or of development in the street or Heritage Conservation Area; and	Compliant. The development uses two tones of face brick observed in the historic building stock of Goulburn and uses sheet metal roofs per the surrounding area, and muted bronze battening to provide relief and interest.
5) Use traditional colour schemes and contrasting tones for alterations and additions.	Not applicable. Not an alt/add project to a heritage item or property in a HCA.
3.3.17 Facades	
A. Two storey façades must only be used where surrounding development is of a predominantly two storey scale.	While the street has two storey properties, it is not necessarily predominately two storey. However, as this is a social housing project, the potential of the site had to be realised with a design that was greater than single storey. A mitigative measure was to limit the max height to 2 storeys and to provide for its screening/softening by a comprehensive landscaping plan.
B. Limit bay widths to match those of surrounding significant development.	Not applicable. Apart from the church, there is no significant development in the vicinity of the site.
C. Alteration of the form and materials of principal elevations is not appropriate. Removal of the external skin or rendering of exterior walls is not appropriate unless associated with acceptable reconstruction works.	Not applicable.
D. In altering existing houses, original sunhoods, blinds, awnings and skirts to principal elevations should be retained and repaired. Authentic construction or reconstruction is supported.	Not applicable.
E. In altering existing buildings, original verandahs / façades are to be retained and restored.	Not applicable.
F. New buildings must take into account the significance and design of verandahs / façades in the locality, the methods of their incorporation in building designs and their harmonising role in streetscapes. (Figure 3.12)	Compliant. The surrounding streetscape has small covered front porches. This cue has been incorporated into the design of each unit as a small covered outdoor area. This provides articulation to the façade and rooflines.
G. Alteration to original façades which are of heritage significance is not supported.	Not applicable.

H. The proposed works are to be sympathetic to and/or not detract from the style, character and significance of the building and place. Designs, whose massing, details, materials and colours reflect the type of façade historically used in each locality, without insistence upon replication, are encouraged.	Compliant. See comments earlier in the table.
I. Avoid blank exteriors by avoiding tilt slab construction and encouraging staggering of the façade through vertical elements.	Compliant. No tilt slab construction. Brick walls are punctured by vertically proportioned windows, covered porches, and articulation of the walls all provide interest and relief to avoid blank expanses of wall.
J. Retain and repair/restore original shopfronts. Authentic reconstruction is encouraged. Original timber and metal shopfront framing must be retained (Figure 3.13).	Not applicable.
K. Use active shopfronts to the street to activate the footpath and create interest.	Not applicable.
L. Provide details of materials, finishes, profiles and colours for façades including any proposed signage.	Compliant. No signage proposed.
3.3.18 Parking – Garages and Carports	
Controls	Compliant. The on-grade, open carpark will be concealed from view of the street.
A. The introduction of car parking must not impact on the setting or character of the heritage item or Heritage Conservation Area.	
B. Early garages, carports and sheds must be retained wherever possible as they contribute to the character of heritage items and Heritage Conservation Areas.	Not applicable. None on site.
C. Garages and carports should generally be kept separate from the house. Attachment of garages and carports to the buildings they service is generally not favoured unless the structure is located at the rear of the building and is not visible from the surrounding streets, or it is set well back from the front façade and unobtrusively attached. In those cases a simple carport under a continuation of the roofline may be appropriate.	Not applicable. No garages or carports proposed.
D. Garages and carports must be of a simple design, must use traditional pitched roof forms and must match the roof pitch, form and materials of the main building as closely as possible. The design must respect vertical proportions. Double width horizontal doors are unacceptable. Garages and carports must not dominate existing buildings on site (Figure 3.15).	Not applicable. No garages or carports proposed.
E. Prefabricated metal sheds with low-pitched roofs are not appropriate, as they are incompatible with traditional streetscapes.	Not applicable. No sheds.

F. The location of car parking must respect the existing vegetation and original garden layouts on the site.	Not applicable. No significant garden or vegetation present.
G. In relation to access: 1) Existing rear lane access is to be utilised in preference to front access;	Not applicable.
2) Existing side vehicular access is to be utilised;	Not applicable.
3) Driveways are to be to side boundaries and not central; and	The driveway has been placed in from the side boundary as the electrical substation is to be installed there. The driveway between Block C and B will also limit the noise and fume impact on the neighbouring property at No. 14 Sanita Street.
4) Development which removes existing access must not preclude future carports or garages behind the building line.	Compliant.
H. In relation to location: 1) Open stand car spaces may be provided forward of the building line;	Not applicable.
2) Garages and carports are to be located behind the building alignment wherever physically possible; and	Compliant.
I. In relation to scale: 1) Maximum width of a driveway at street frontage is to be 3.5m;	This is a medium density development and as the driveway is shared it is required to be wider than 3.5m.
2) Garages and carports are to occupy no more than 20% of street frontages (Figure 3.15) ;	Not applicable. None proposed.
3) Carparking structures should be diminutive in scale in relation to the residence; and	Not applicable. None proposed.
4) Structures forward of the building line must be designed to minimise their bulk with a maximum eaves heights of 2400mm. Flat roof structures of sympathetic materials and detail are acceptable.	Not applicable. None proposed.
J. In relation to appearance:	
1) Materials, form, and details of car parking structures are to harmonise with and be subservient to the residence;	Not applicable. None proposed.
2) A similarity in colour of garage doors and wall surfaces may reduce impact to street and therefore is favoured;	Not applicable. None proposed.
3) Structures forward of the building line must be screened with vegetation; and	Not applicable. None proposed.
4) Garage doors and structures are to be recessed behind the primary façade to create a shadow line.	Not applicable. None proposed.

3.3.19 Fences	
A. Original fencing and gates must be retained. If fences and gates are in good condition they can be maintained; if not they can be reconstructed with new, matching elements. Any good sections of the old fence should be integrated.	Not applicable. No significant fences etc on the properties.
B. New fencing on heritage properties must be of a traditional design, with modest height and not solid in order to allow views of the garden and front of the building. The design may be based on photographic evidence, or if this is not available, the design must be appropriate to the age and style of the house. (Figure 3.16)	Not applicable. Not a heritage property.
C. New fencing must be consistent with traditional fences in the streetscape.	There is no consistency to the fencing in the street, so a simple contemporary style that is fit for purpose has been selected.
D. On new developments simple fencing styles that harmonise with the heritage streetscape may be appropriate.	Compliant. The fencing is functional for privacy, but recessive in the dark grey colour and form. There is no consistency to the fencing in the street, so a simple contemporary style that is fit for purpose has been selected.
E. New fencing must respect the traditional hierarchy of fences for the front, side and rear boundaries.	Compliant.
F. Fence heights must be consistent with the heights of the predominant fences in the street. Generally height should be 1.2m forward of the front building setback, and 1.8m elsewhere.	The fencing around the ground floor units will be 1.5m high. As it is also for privacy screening, the height has been selected to provide privacy consistently across the site. This has been done to mitigate the possibility that residents will install their own individual solution, which could introduce visually detracting elements into the streetscape.
G. Metal panel fences, spear tops, and aluminium lace panels are generally inappropriate in the heritage environment. Refer to Figure 3.17 for examples of suitable fencing.	Compliant.
3.3.20.1 Gardens	
G. New development should: 1) Include a front garden with lawn, shrub and tree elements; 2) Limit hard paving to only paths and driveways; and 3) Use simple fencing that complements the streetscape and architectural features of the area	Compliant on all counts. See landscape plan for details.

8. CONCLUSION

The historical use of the study site since its original improvement in the late 1950s / early 1960s has been as social housing; the proposed development will continue this traditional use.

The modest post-war houses on the site do not have significance in their own right, and have no garden features of any contributory value; the clearing of the site is acceptable.

The study site is in the general visual catchment of the church, located on the highest point of the hill; it has landmark qualities including its high spire and white walls. The church addresses Addison Street, so the Sanita Street elevation is to its rear and of lesser significance.

While the street has two storey properties, it is not necessarily predominately two storey. However, as this is a social housing project, the potential of the site had to be realised with a design that was greater than single storey. Mitigative measures in this respect have included the restriction of the height to max 2 storeys and to make sure that the overall height, bulk, form, detailing and colours of the study site do not compete with that of the church.

The views from the church will be respected by the screening plantings and sympathetic exterior materials and recessive colour palette which will reduce the visual prominence of the buildings at the study site. Likewise, the provision of consistent privacy fencing to the ground floor, which while 300mm over the preferred DCP height, will prevent the introduction of visually incongruent privacy screening by various residents.

The simple contemporary design takes cues from the streetscape for form, fabric and finishes. It does not mimic or compete with heritage detailing or landmark qualities. The development uses two tones of face brick observed in the historic building stock of Goulburn and uses sheet metal roofs per the surrounding area, and muted bronze battening to provide relief and interest. Vertically proportioned windows puncture the walls and covered porches and balconies provide articulation.

I am satisfied that the visual impact of the development on the setting and views of the church have been mitigated through respectful design which has resulted in an unobtrusive architectural outcome. The use of a traditional hip roofline, recessive and muted earthy tones, and the leafy setting ensures that the development will sit sympathetically in the streetscape.

Overall, it is concluded that the heritage significance of the church and rectory heritage items will not be adversely affected by the proposed works.

9. RECOMMENDATIONS

Based on the above, it is recommended that the proposal be **approved**.

It should also be noted that while the archeological potential of the site was deemed to be low, based on its historic context, the discovery of Aboriginal or European archaeological relics should not be ruled out. It is recommended that the following unexpected finds protocol be implemented at the site:

- In terms of archaeological potential generally, all contractors involved in the construction works should be briefed on the possibility of relics being present and advised of their legal responsibilities:
 - Historical archaeological features and deposits are afforded statutory protection by the 'relics provision'. Section 4(1) of the *Heritage Act 1977* defines 'relic' as any deposit, artefact, object or material that relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and is of State or Local heritage significance. The 'relics provision' requires that no archaeological relics be disturbed or destroyed without prior consent from the Heritage Council of NSW; and

- The *National Parks and Wildlife Act 1974* protects Aboriginal cultural heritage in NSW. It is an offence to knowingly (or otherwise) harm or desecrate an Aboriginal object or Aboriginal place. Harm is defined to mean destroying, defacing, damaging or moving an object from the land. An Aboriginal object is legally protected irrespective of land tenure, the significance of the object and whether or not it has been recorded. The penalties for harming or desecrating Aboriginal objects and or places in NSW include significant monetary fines and the potential for imprisonment.

There are statutory protections in place for ALL archaeological features, deposits, relics and Aboriginal places; in the case that it is suspected that works have uncovered any of these, ***work should cease in that area immediately***, an exclusion zone be established, and, in the first instance, Council should be notified. An archaeologist will likely be required to attend site to assess the situation and provide advice. Works may only recommence when relevant permits have been obtained from Heritage NSW and an appropriate and approved management strategy are in place.

APPENDIX A

ARCHITECTURAL DRAWINGS



legend / abbreviation

	EXISTING STREET TREES TO BE RETAINED AND PROTECTED		1.2-1.5 M HEIGHT FENCE WITH VERTICAL METAL BATTENS. REFER TO LANDSCAPE DRAWING
	P.O.S PLANTER/SOFT LANDSCAPE. REFER TO LANDSCAPE DRAWING		1.8 M HEIGHT FENCE. REFER TO LANDSCAPE DRAWING
	EXISTING SEWER UNDERGROUND TO BE RETAINED		1.8 M HEIGHT BOUNDARY FENCE. REFER TO LANDSCAPE DRAWING
	PROPOSED HARD PAVE AREA. REFER TO LANDSCAPE DRAWING		AIR CONDITIONING UNIT
	DRAINAGE PITS. REFER TO CIVIL DRAWING		BROOM CUPBOARD
			DISHWASHER (UNDER BENCH)
			DOWNPIPE
			FIRE HYDRANT
			HIGH LEVEL WINDOW
			HOT WATER UNIT
			LINEN CUPBOARD
			METER PANEL
			PANTRY
			PV SOLAR PANEL
			REFRIGERATOR
			STORAGE CUPBOARD
			WATER METER

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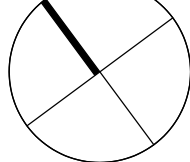
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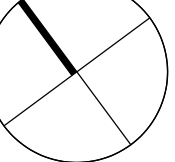
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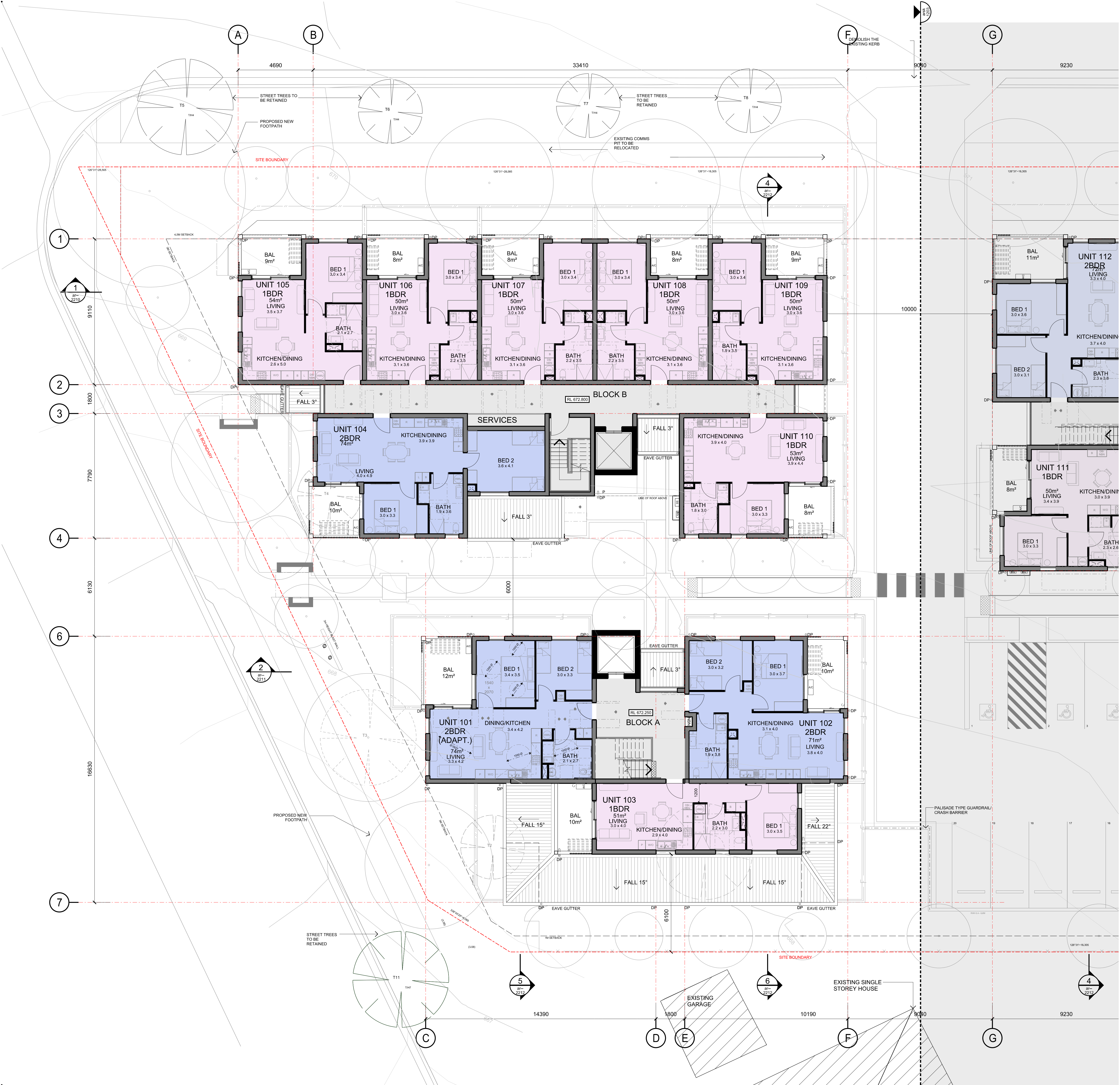
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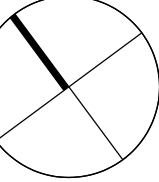
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	DRAINAGE PITS REFER TO CIVIL DRAWING		

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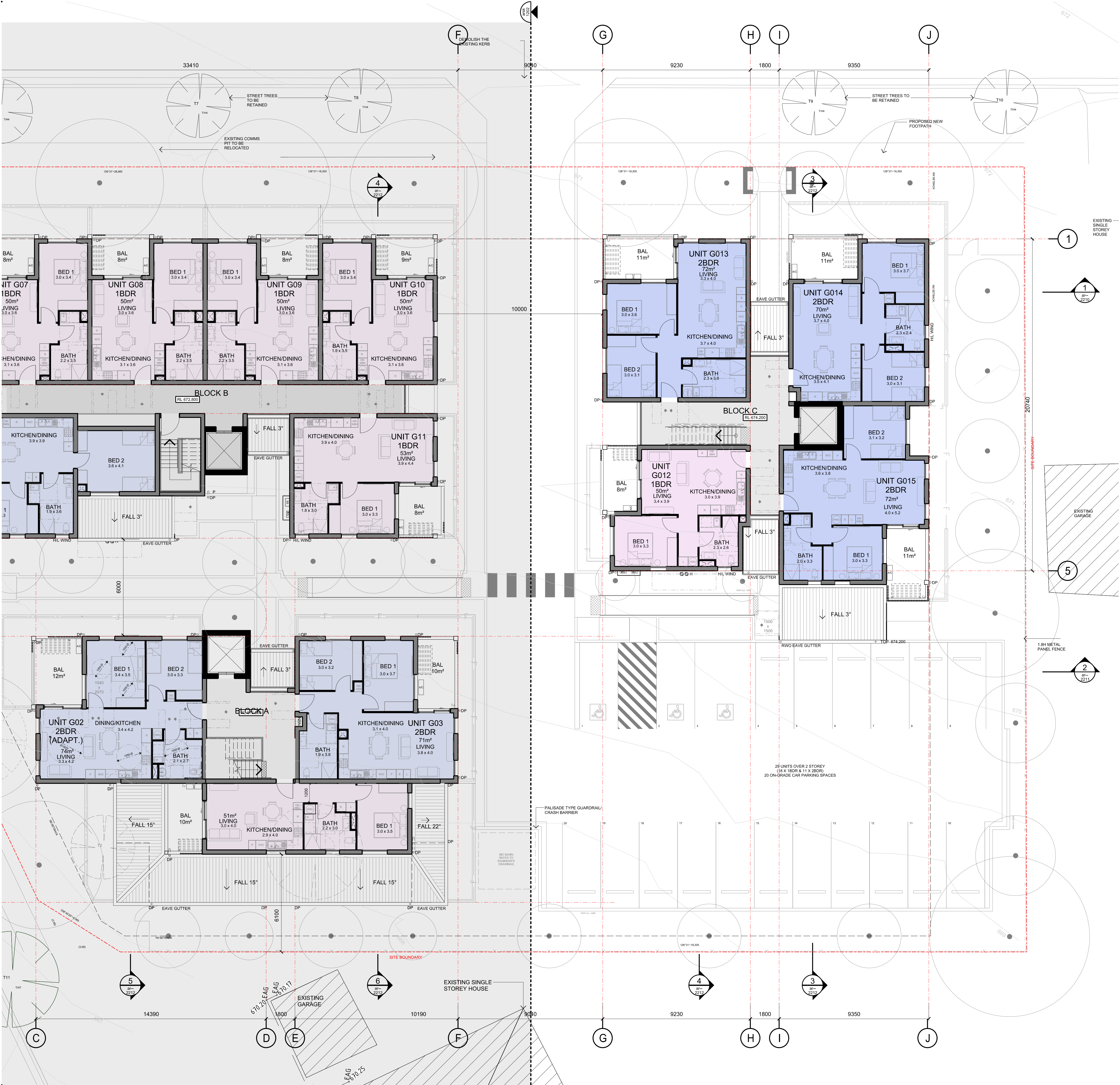
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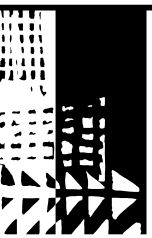
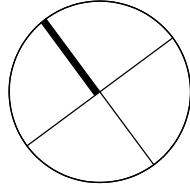
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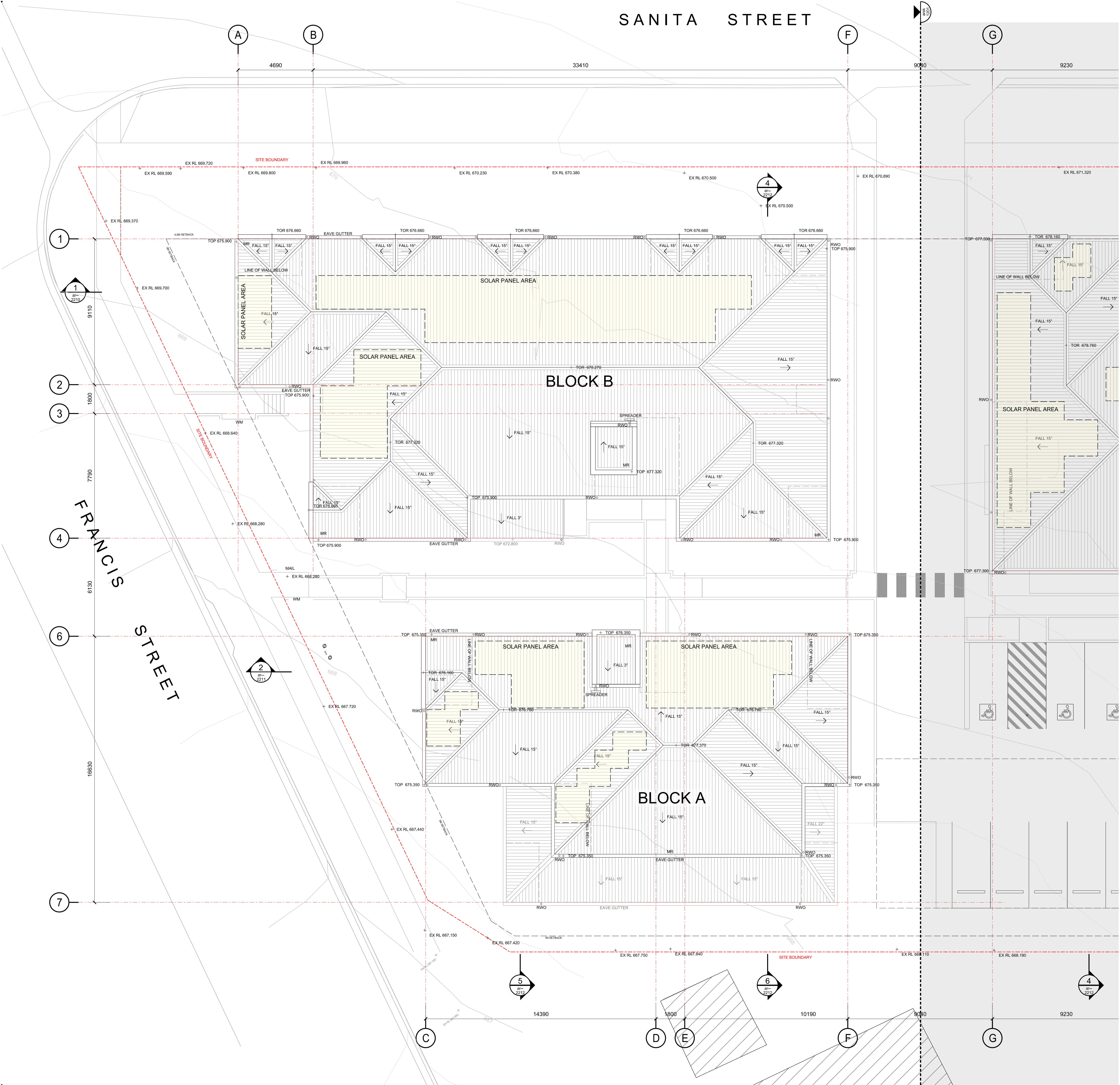
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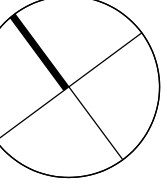
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-04	14/06/24	DRAFT PARTS SUBMISSION	ML	ML	WJ	WJ		
-05	09/07/24	ISSUE FOR COORDINATION	ML	ML	ET	ET		
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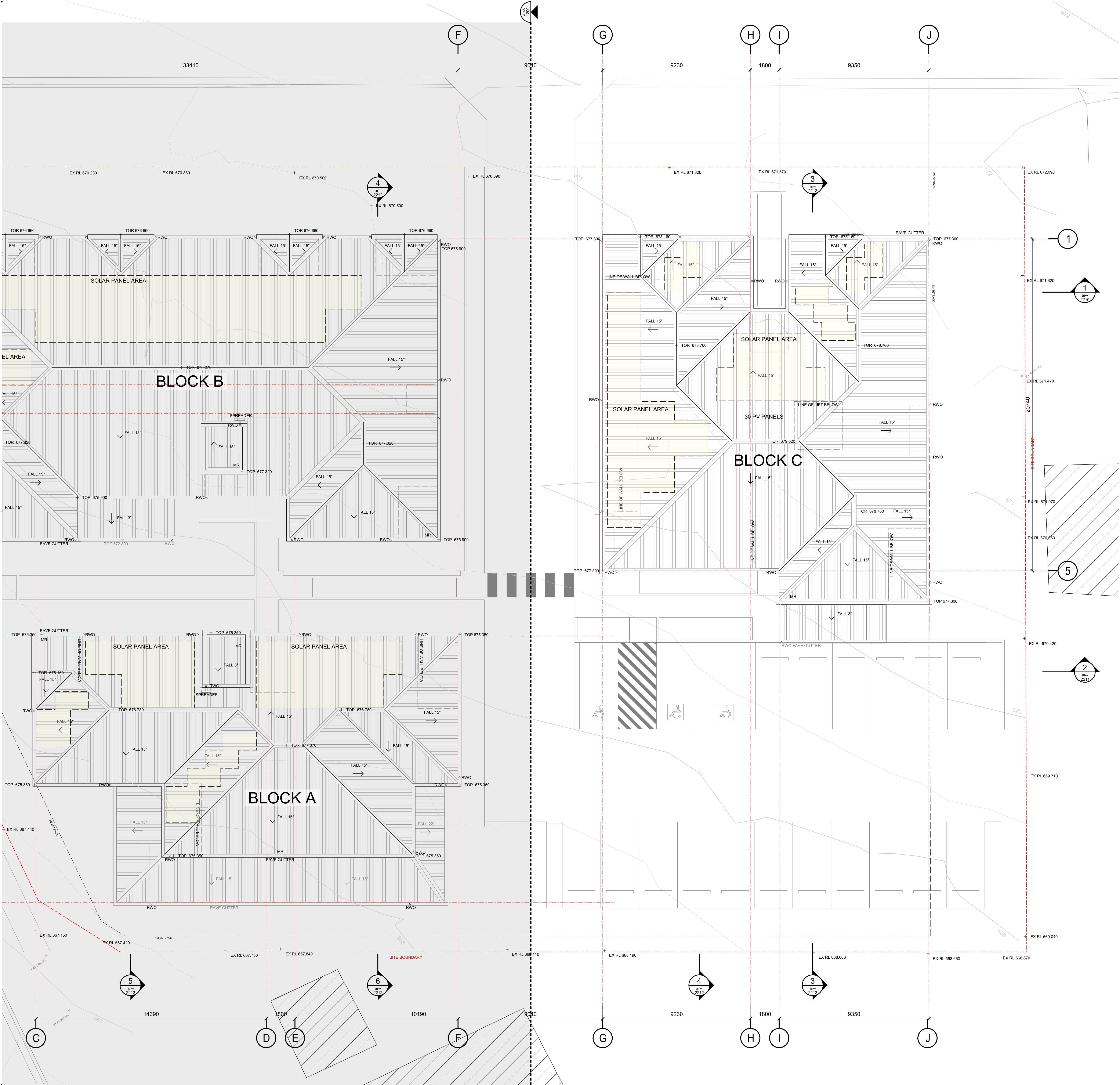
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**Roof Plan
Sheet 1 of 2**

Preliminary

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ar-1204 **-06**



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	EXISTING SEWER UNDERGROUND TO BE RETAINED		1.8 M HEIGHT BOUNDARY FENCE. REFER TO LANDSCAPE DRAWING
	PROPOSED HARD PAVE AREA. REFER TO LANDSCAPE DRAWING		AIR CONDITIONING UNIT, BROOM CUPBOARD, DISHWASHER (UNDER BENCH), DOWNPIPE, FIRE HYDRANT, HIGH LEVEL WINDOW, HOT WATER UNIT, LINEN CUPBOARD, METER PANEL, PANTRY, PV SOLAR PANEL, REFRIGERATOR, STORAGE CUPBOARD, WATER METER
	DRAINAGE PITS. REFER TO CIVIL DRAWING		A/C, B, D, DBN, DP, H, HL, HWU, L, MP, P, PV, R, S, WM

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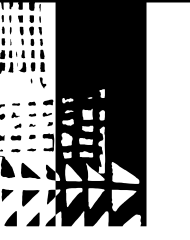
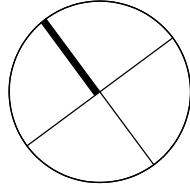
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Roof Plan
Sheet 2 of 2

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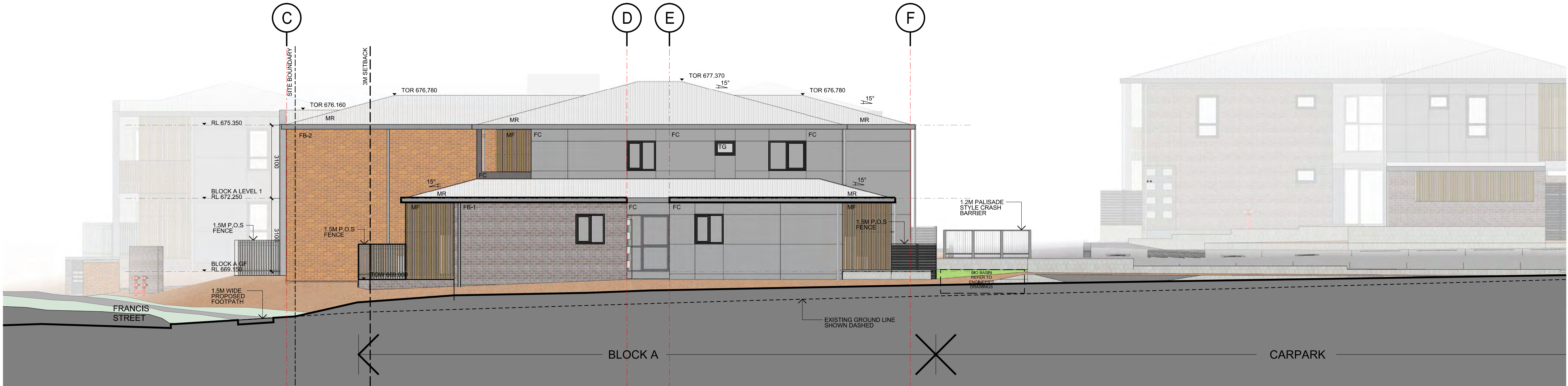
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drawing no. rev no.

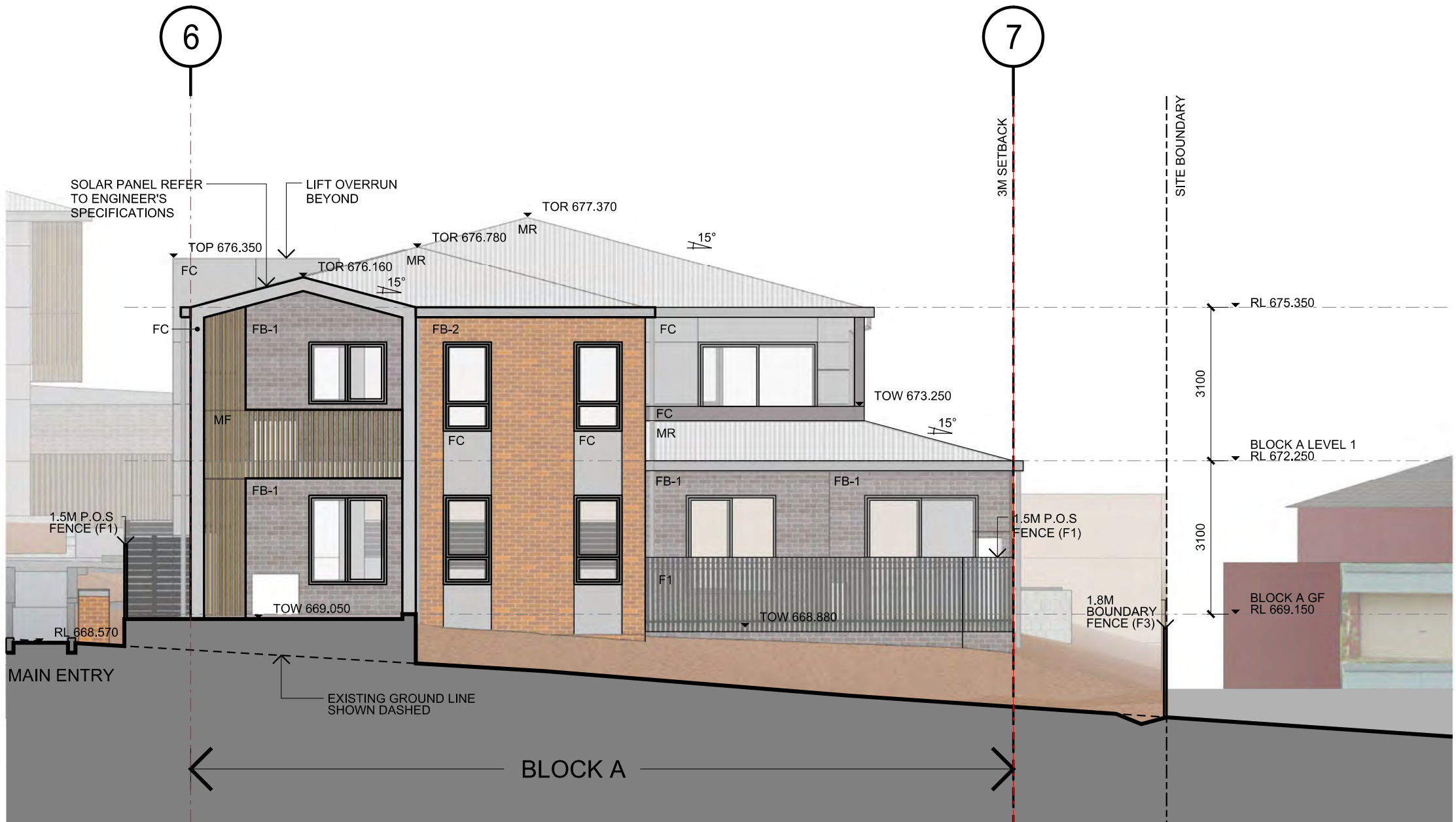
ar-1205 -06



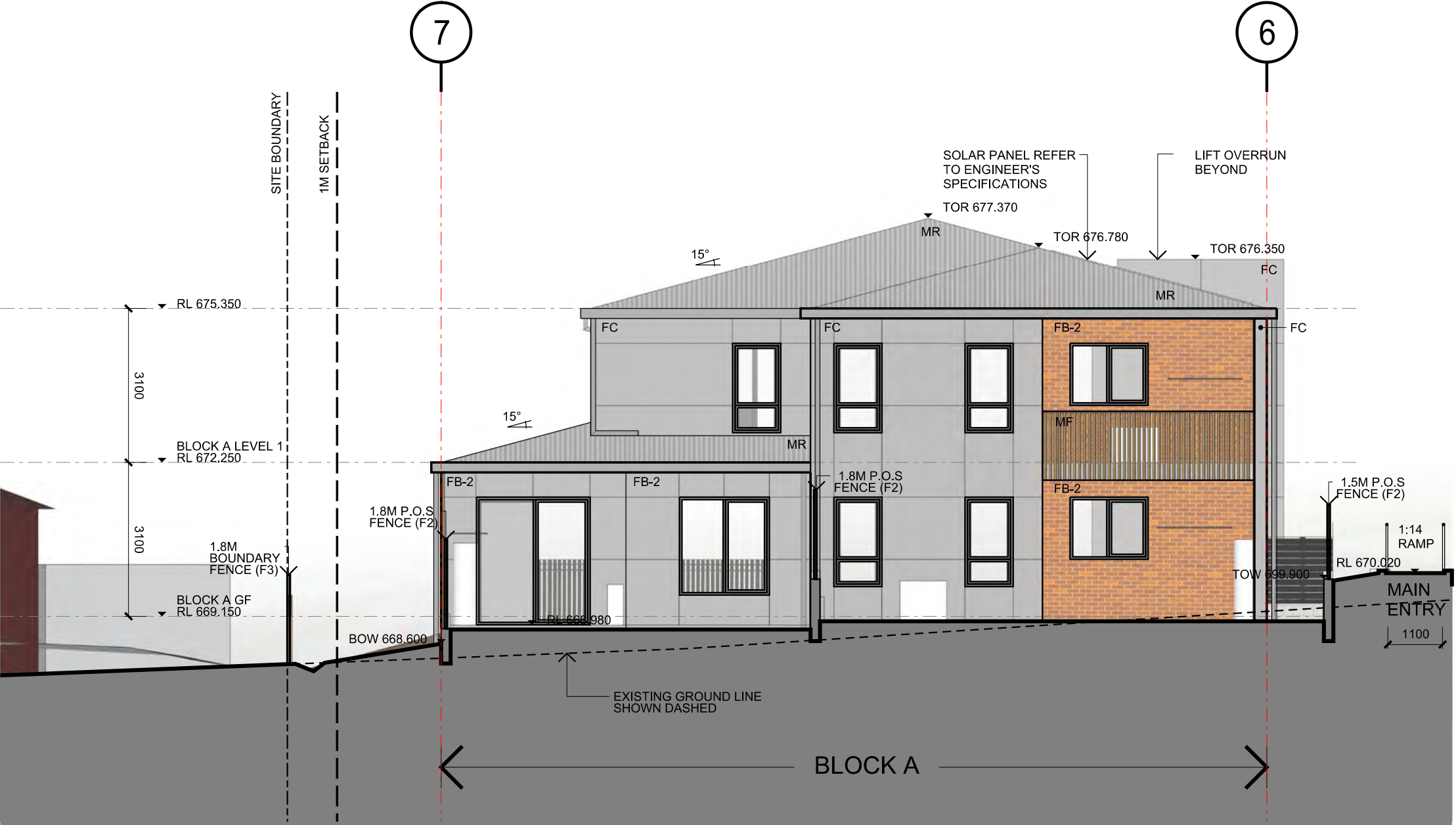
1 NORTH EAST ELEVATION
BLOCK A
SCALE 1:100



2 SOUTH WEST ELEVATION
BLOCK A
SCALE 1:100



3 NORTH WEST ELEVATION
BLOCK A
SCALE 1:100

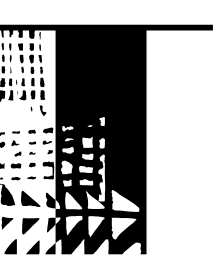
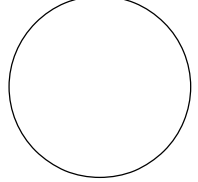


4 SOUTH EAST ELEVATION
BLOCK A
SCALE 1:100

legend	
	FB-1 FACE BRICK - BLUE COLOUR
	FB-2 FACE BRICK - RED COLOUR
	FC CFC CLADDING - MID GREY
	MR METAL ROOF - LIGHT GREY
	MF ALUMINIUM BATTEN BALUSTRADE & PRIVACY SCREEN - BRONZE
	F1 1 - 1.5M P.O.S FENCE
	F2 1.8M P.O.S FENCE
	WA WINDOW AWNING - ALUMINIUM WITH SELECTED PROTECTIVE PAINT COATING
	WF WINDOW FRAME (POWDER COATED OR ANODISED ALUMINIUM) - DARK GREY

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amendments		by		checked		init		verified	
no.	date	amendment	by	chk'd	init	chk'd	init	chk'd	
A01	23/08/24	PART 5 SUBMISSION	ML	ML			WJ	WJ	

north point



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project/client
**General Housing -
RFB (2-storey)
35 Francis St &
16-20 Sanita St,
Goulburn 2058 NSW**

Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150
civil & structural engineer

building service

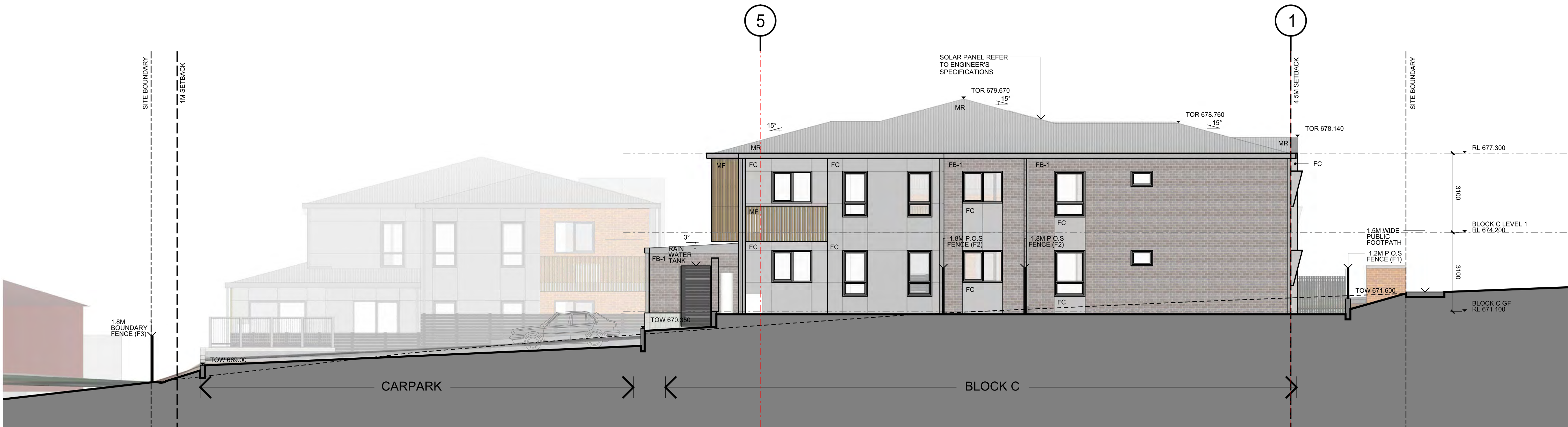
drawing title
elevation

sheet 1 of 3

Part 5 submission

original	scale	drawn	project no.
b1	1:100	ml	4616-00
drawing no.			rev no.

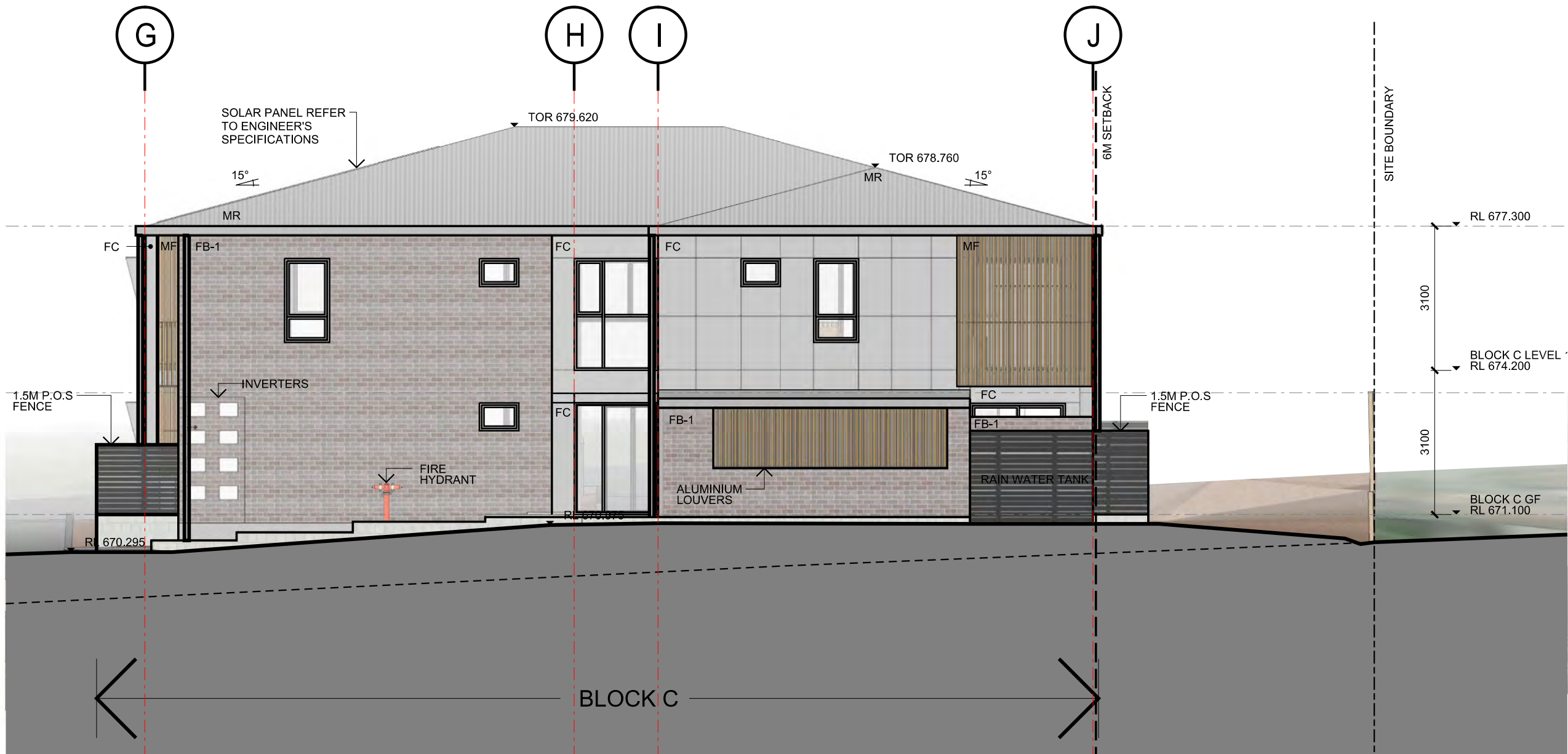
ar-2610 **a01**



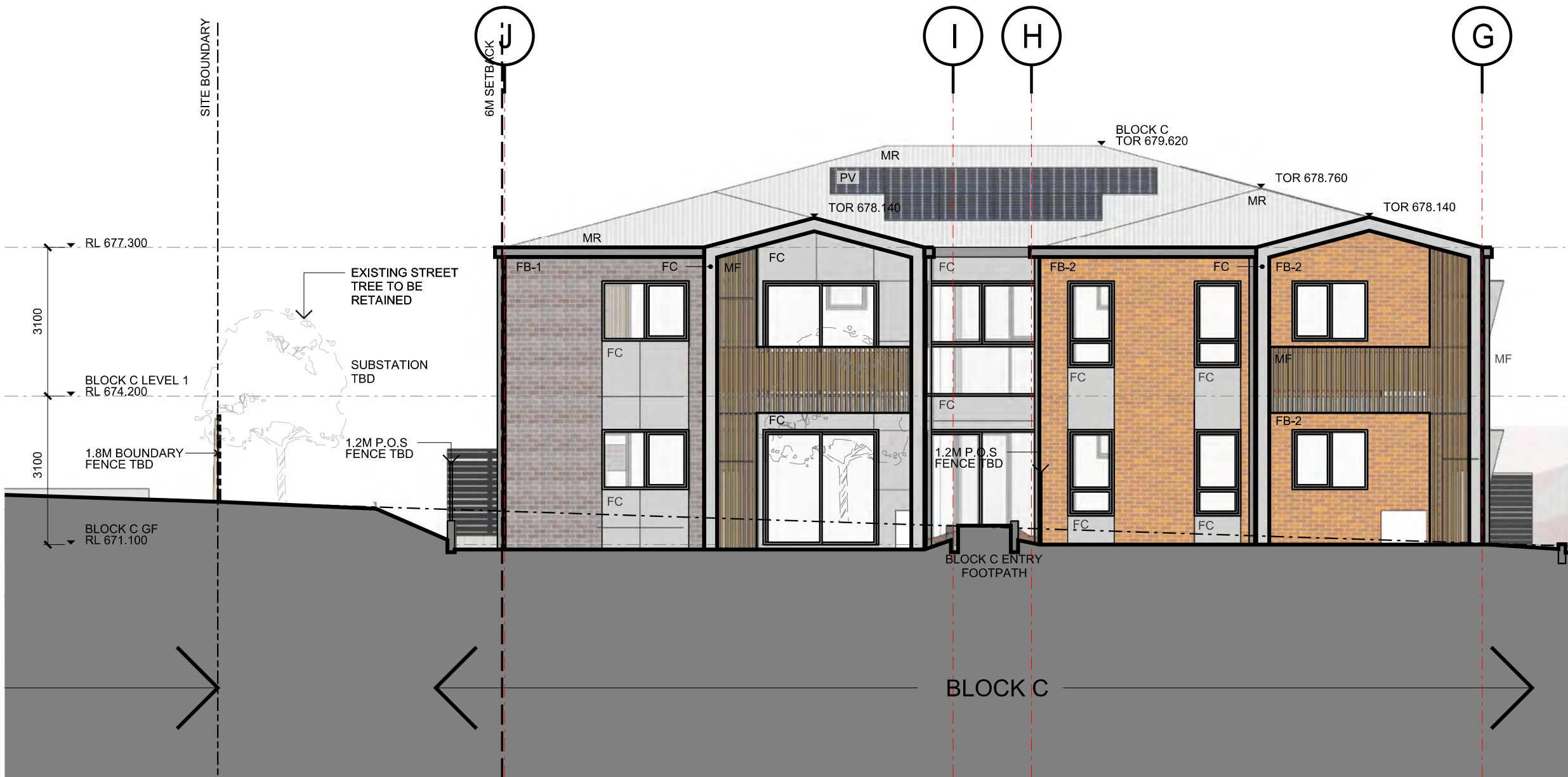
1 SOUTH EAST ELEVATION
BLOCK C
SCALE 1:100



2 NORTH WEST ELEVATION
BLOCK C
SCALE 1:100



3 SOUTH WEST ELEVATION
BLOCK C
SCALE 1:100

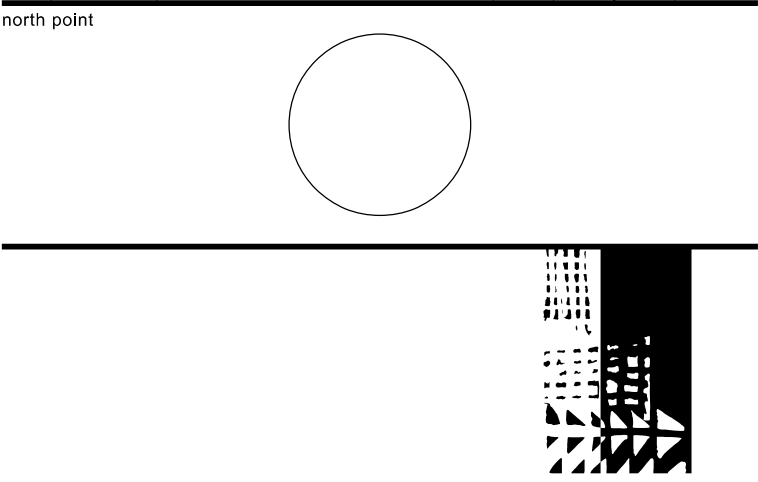


4 NORTH EAST ELEVATION
BLOCK C
SCALE 1:100

legend	
	FB-1 FACE BRICK - BLUE COLOUR
	FB-2 FACE BRICK - RED COLOUR
	FC CFC CLADDING - MID GREY
	MR METAL ROOF - LIGHT GREY
	MF ALUMINIUM BATTEN BALUSTRADE & PRIVACY SCREEN - BRONZE
	F1 1 - 1.5M P.O.S FENCE
	F2 1.8M P.O.S FENCE
	WA WINDOW AWNING - ALUMINIUM WITH SELECTED PROTECTIVE PAINT COATING
	WF WINDOW FRAME (POWDER COATED OR ANODISED ALUMINIUM) - DARK GREY

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amendments		no.		date	amendment	by	chk'd	init	chk'd	verified
A01	23/08/24	PART 5 SUBMISSION	ML	ML	WJ	WJ				



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Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150
civil & structural engineer

building service

drawing title
elevation

sheet 3 of 3

Part 5 submission

original	scale	drawn	project no.
b1	1:100	ml	4616-00
drawing no.		rev no.	
ar-2612		a01	



1A SANITA STREET
STREET ELEVATION SCALE 1:100



1B FRANCIS STREET
STREET ELEVATION SCALE 1:100

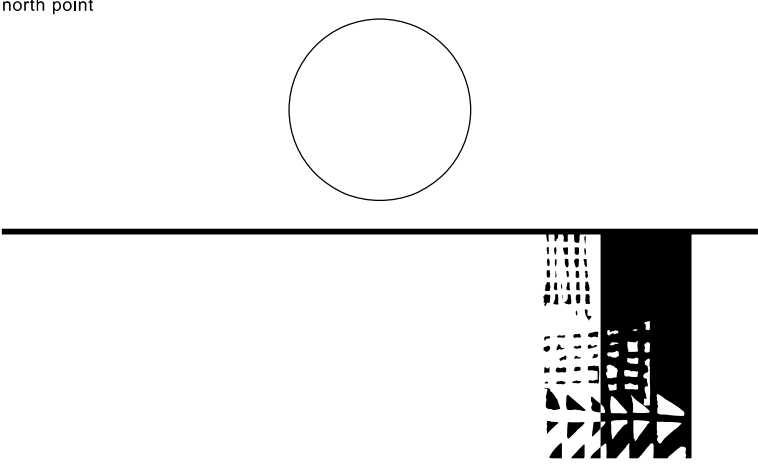


2 FRANCIS STREET
STREET ELEVATION SCALE 1:100

legend	
	FB-1 FACE BRICK - BLUE COLOUR
	FB-2 FACE BRICK - RED COLOUR
	FC CFC CLADDING - MID GREY
	MR METAL ROOF - LIGHT GREY
	MF ALUMINIUM BATTEN BALUSTRADE & PRIVACY SCREEN - BRONZE
	F1 1 - 1.5M P.O.S FENCE
	F2 1.8M P.O.S FENCE
	WA WINDOW AWNING - ALUMINIUM WITH SELECTED PROTECTIVE PAINT COATING
	WF WINDOW FRAME (POWDER COATED OR ANODISED ALUMINIUM) - DARK GREY

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amendments		by		checked		verified	
no.	date	amendment	by	chk'd	init	chk'd	
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Homes NSW
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12 Darcy Street, Parramatta NSW 2150
civil & structural engineer

building service

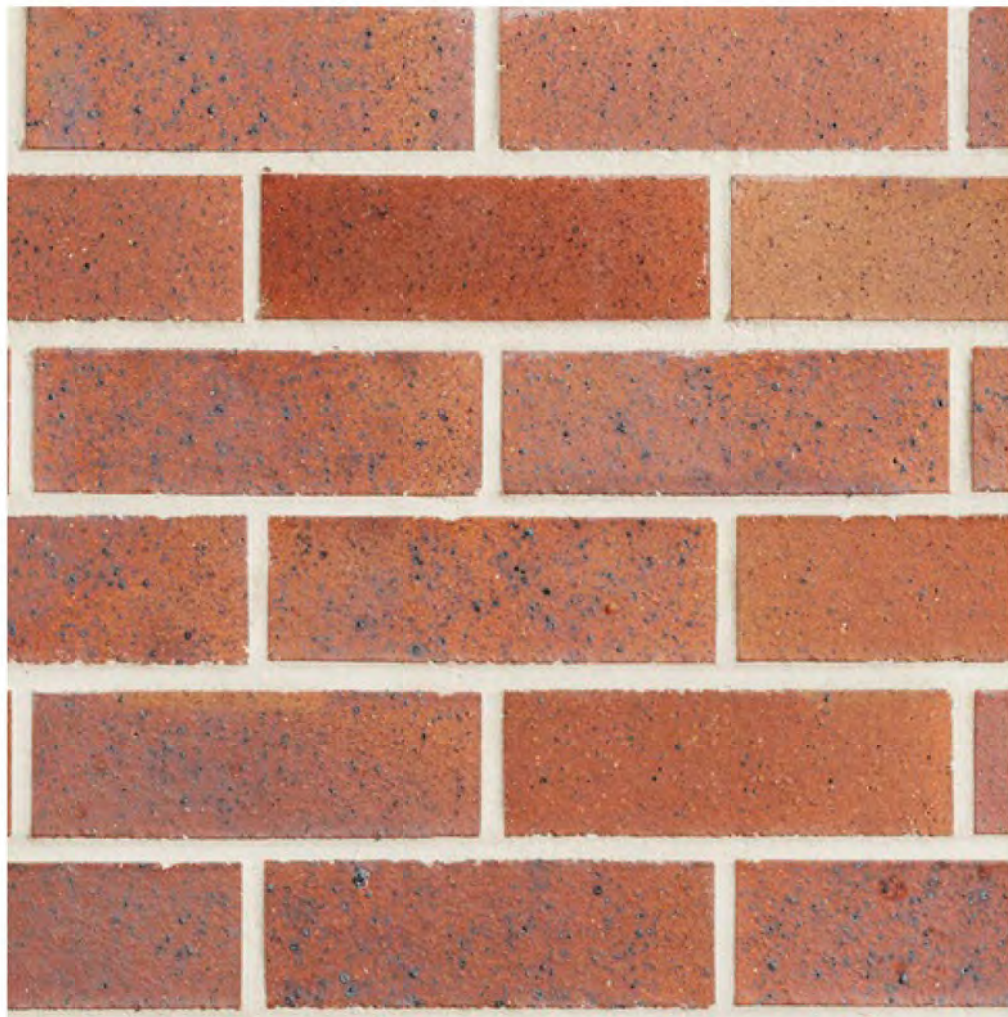
drawing title
street elevation

Part 5 submission

original	scale	drawn	project no.
b1	1:100	ml	4616-00
drawing no.		rev no.	
ar-2613		a01	



FB-1FACE BRICK
BLUE COLOUR



FB-2FACE BRICK
RED COLOUR



FCCFC CLADDING
MID GREY



MRMETAL ROOF
LIGHT GREY



WFWINDOW FRAME (POWDER-COATED OR
ANODISED ALUMINIUM)
DARK GREY



MFALUMINIUM BATTEN BALUSTRADE & PRIVACY
SCREEN
BRONZE



F1VERTICAL ALUMINIUM PRIVACY FENCE
(1M - 1.5M)
DARK GREY



F2HORIZONTAL ALUMINIUM PRIVACY FENCE
(1.8M)
DRAK GREY



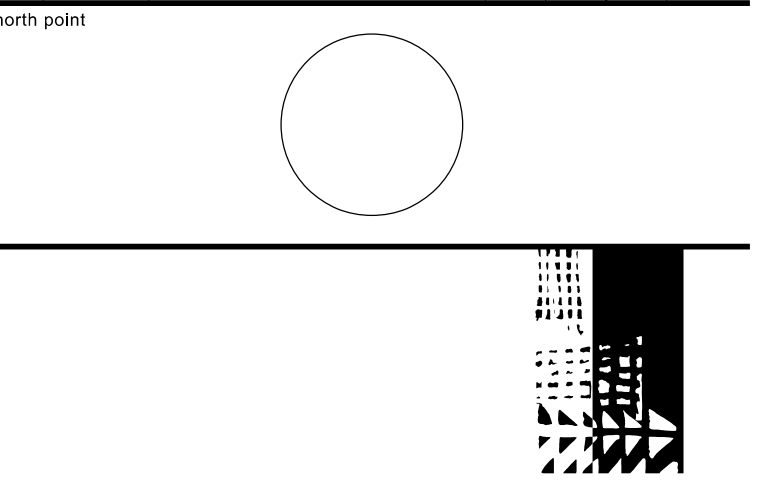
DP & GDOWNPIPE AND GUTTER
MID GREY



TRANSLUCENT GLASS TO ALL TOILET
WINDOW

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amendments				verified		
no.	date	amendment	by	chk'd	init	chk'd
A01	23/08/24	PART 5 SUBMISSION	ML	ML	WJ	WJ



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35 Francis St & 16-20 Sanita St, Goulburn 2058 NSW

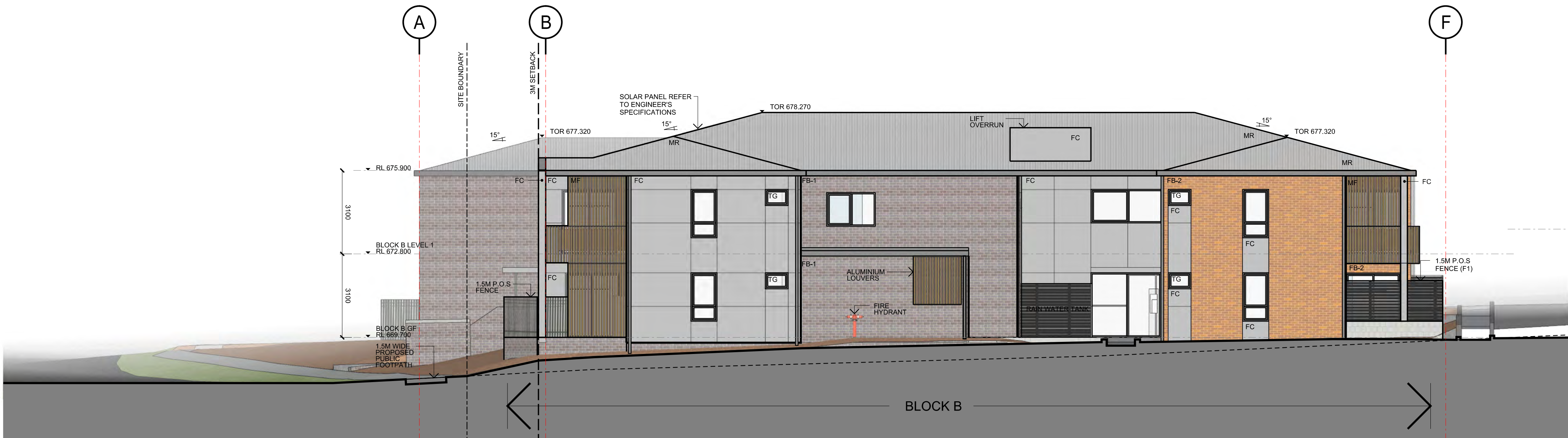
 Homes NSW
 4 Parramatta Square (4PSQ)
 12 Darcy Street, Parramatta NSW 2150
 civil & structural engineer

building service
 drawing title
external materials & finishes

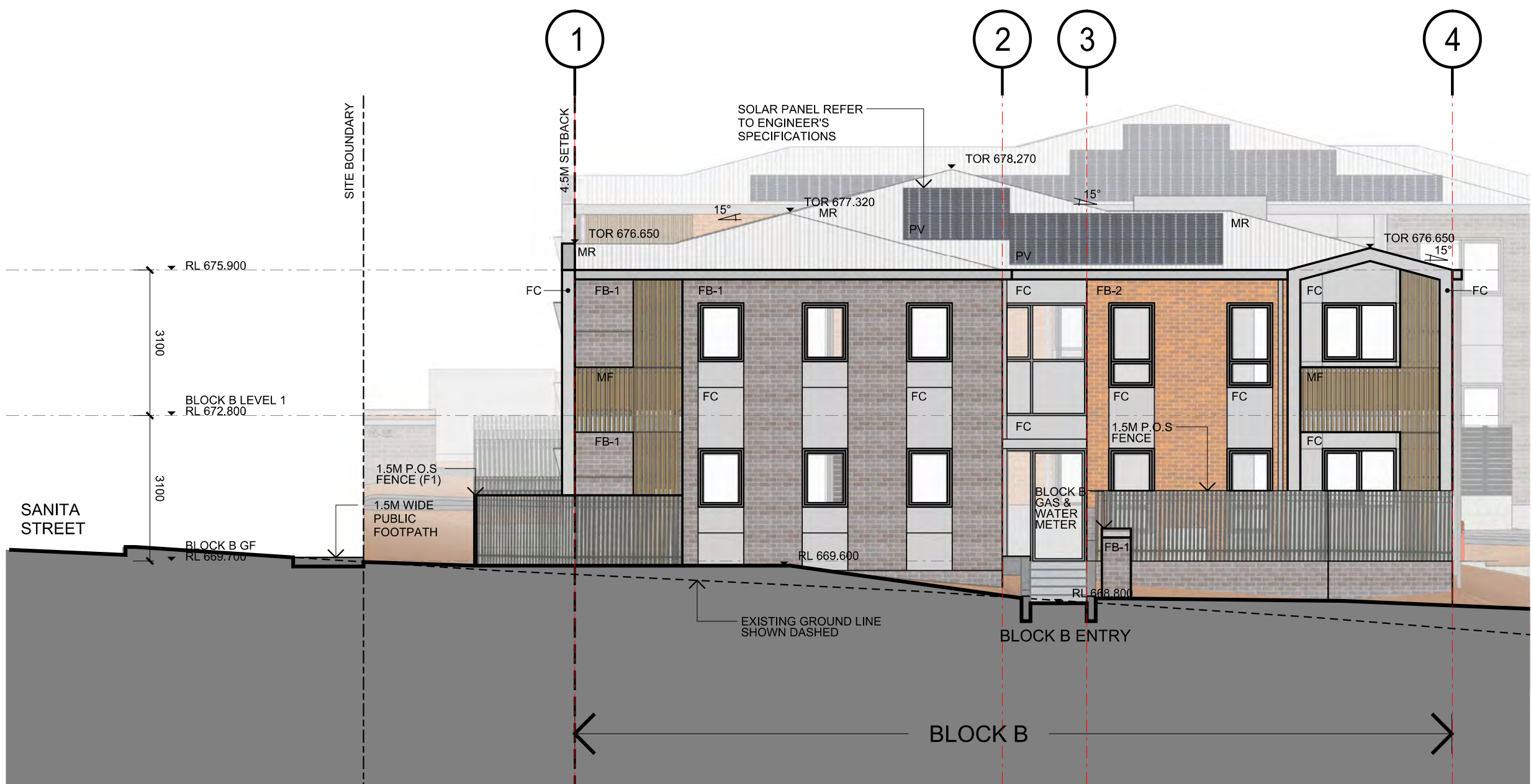
Part 5 submission
 original scale drawn project no.
 b1 1:100 ml 4616-00
 drawing no. rev no.
ar-8100 a01



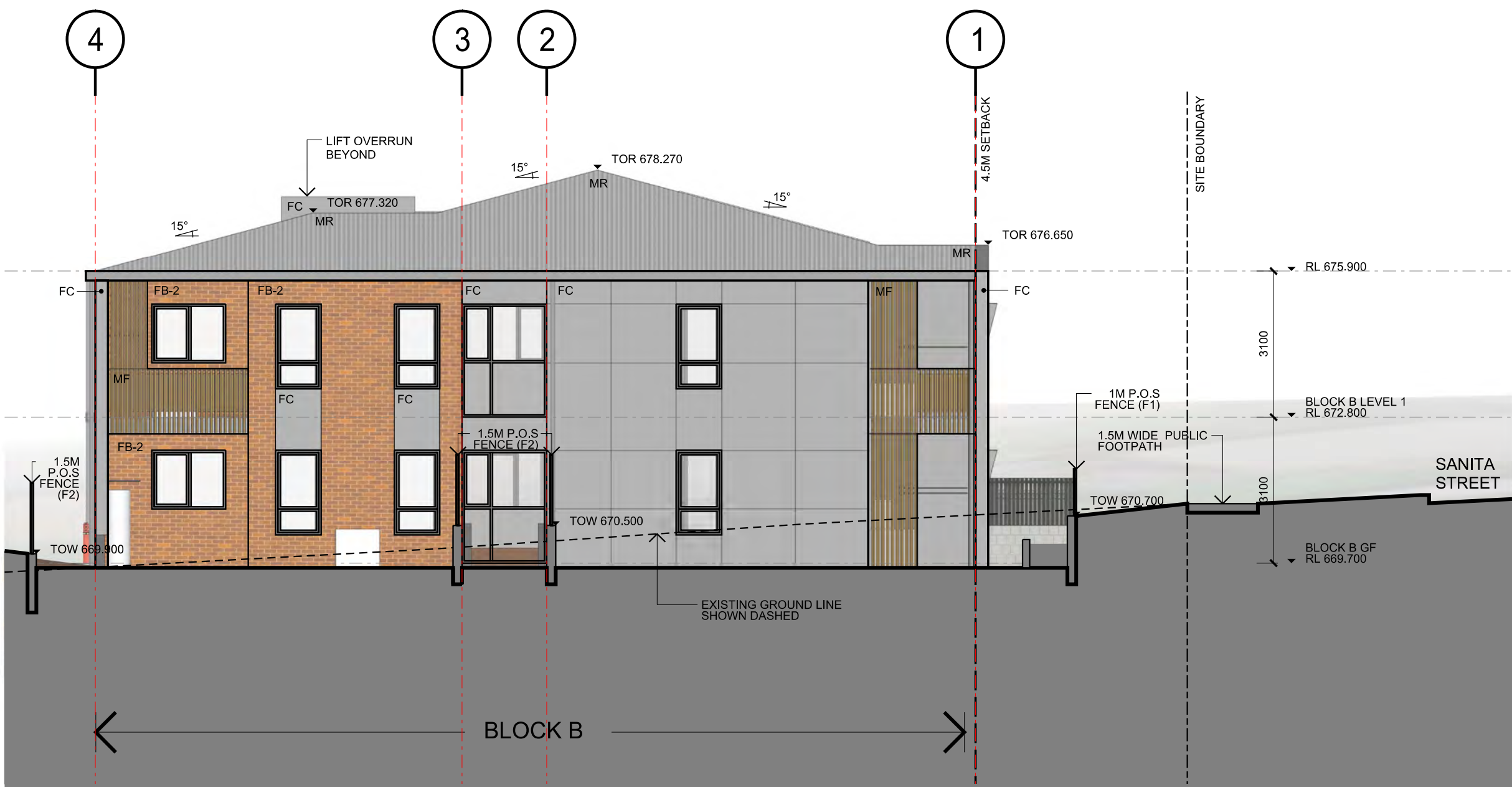
1 NORTH EAST ELEVATION
BLOCK B
SCALE 1:100



2 SOUTH WEST ELEVATION
BLOCK B
SCALE 1:100



3 NORTH WEST ELEVATION
BLOCK B
SCALE 1:100

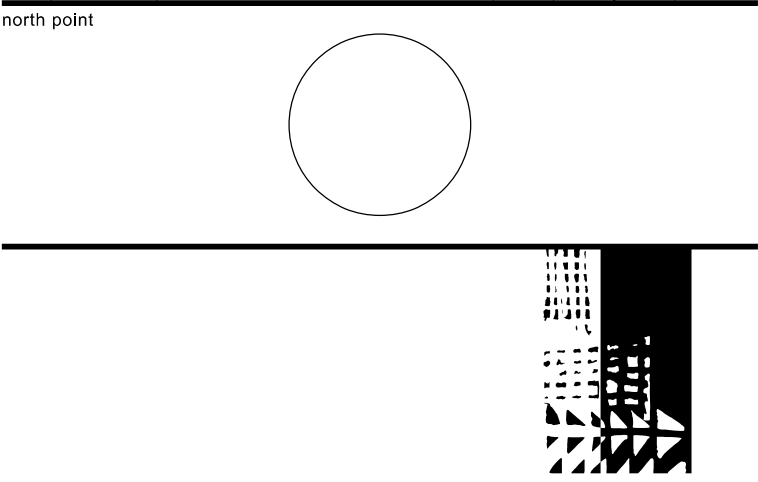


4 SOUTH EAST ELEVATION
BLOCK B
SCALE 1:100

legend	
	FB-1 FACE BRICK - BLUE COLOUR
	FB-2 FACE BRICK - RED COLOUR
	FC CFC CLADDING - MID GREY
	MR METAL ROOF - LIGHT GREY
	MF ALUMINIUM BATTEN BALUSTRADE & PRIVACY SCREEN - BRONZE
	F1 1 - 1.5M P.O.S FENCE
	F2 1.8M P.O.S FENCE
	WA WINDOW AWNING - ALUMINIUM WITH SELECTED PROTECTIVE PAINT COATING
	WF WINDOW FRAME (POWDER COATED OR ANODISED ALUMINIUM) - DARK GREY

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amendments		by		verified	
no.	date	chk'd	init	chk'd	init
A01	23/08/24		ML	ML	WJ
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Homes NSW
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12 Darcy Street, Parramatta NSW 2150

civil & structural engineer

building service

drawing title
elevation

sheet 2 of 3

Part 5 submission

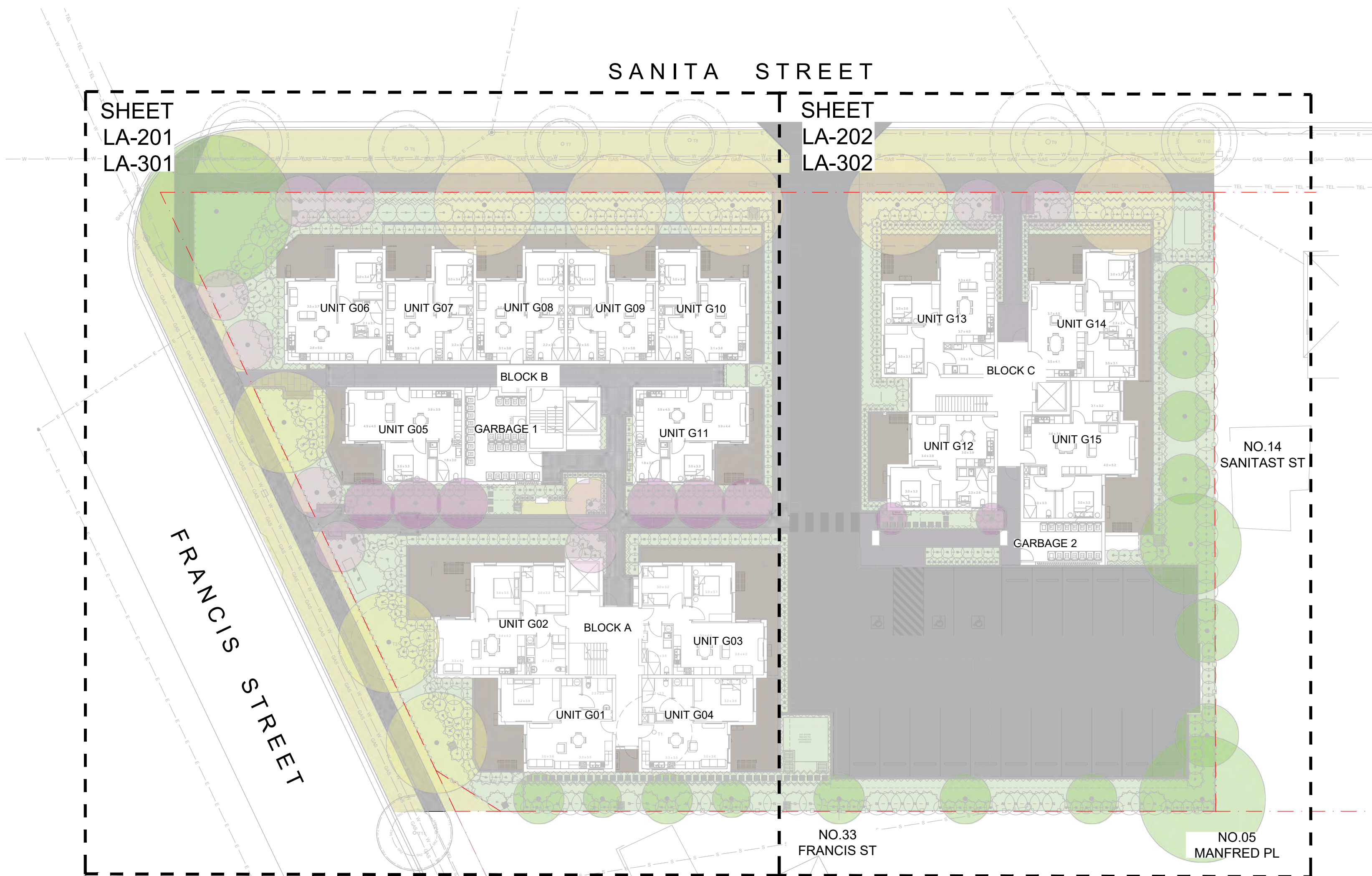
original	scale	drawn	project no.
b1	1:100	ml	4616-00
drawing no.		rev no.	
ar-2611		a01	





35 Francis St & 16-20 Sanita St, Goulburn 2058 NSW

LANDSCAPE DOCUMENTATION SET FOR DA



DRAWING LIST

LA-000	COVER SHEET & GENERAL NOTE
LA-001	LEGEND & PLANTING SCHEDULE
LA-002	EXISTING TREE PLAN
LA-201	GENERAL ARRANGEMENT PLAN - SHEET 1
LA-202	GENERAL ARRANGEMENT PLAN - SHEET 2
LA-301	PLANTING PLAN - SHEET 1
LA-302	PLANTING PLAN - SHEET 2
LA-501	LANDSCAPE SECTION - SHEET 1
LA-502	LANDSCAPE SECTION - SHEET 2
LA-601	TYPICAL DETAILS
LA-700	SPECIFICATION NOTES

GENERAL NOTES

- REFER TO ARCHITECT'S DRAWINGS FOR ALL INTERNAL BUILDING LAYOUT & LEVELS.
- REFER TO ARCHITECT'S DRAWING FOR EXTERNAL DECKING, BALUSTRADES, AND LIGHTING DETAILS.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL MAJOR RETAINING WALLS, SEWER LINES, MANHOLES, DRAINAGE PITS, KERBS & GUTTER, AND VEHICULAR CROSSOVERS.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL PROPOSED FOOTPATHS IN THE ROAD RESERVE ALIGNMENT AND LEVELS.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL PAVEMENT JOINTS, PAVEMENT SUBSTRATE DETAILS.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL SUBSOIL DRAIN DESIGN, LOCATION, AND CONNECTION.
- THIS DOCUMENTATION SET SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S, CIVIL, STORMWATER, AND STRUCTURAL ENGINEER'S DRAWINGS.
- LOCATE AND PROTECT ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION. PROPOSED TREES TO BE LOCATED MINIMUM 6M FROM ANY EXISTING SEWER LINES, ALL UNDERGROUND SERVICES TO BE LOCATED AND PROTECTED PRIOR TO ANY EXCAVATION AND INSTALLATION OF TREES.
- ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.
- DO NOT SCALE DRAWINGS, FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALED DIMENSIONS.
- CONTRACTOR TO CHECK EXISTING LEVELS ALONG SITE BOUNDARY TO CONFIRM EXTENT AND HEIGHT OF PROPOSED RETAINING WALLS. OBTAIN APPROVAL FROM SUPERINTENDENT AND PROJECT LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THIS DRAWING SET IS TO BE PRINTED IN COLOUR.
- HANDRAILS, SAFETY BALUSTRADES, AND TGSIS (WHERE NEEDED) TO BE INSTALLED WHERE REQUIRED FOR ALL EXTERNAL RAMPS, STAIRS, ETC TO COMPLY WITH BCA AND AS 1428.1-2009.
- QUALIFIED IRRIGATION CONSULTANT TO PROVIDE DETAILED IRRIGATION DESIGN AND DOCUMENTATION FOR APPROVAL. IRRIGATION TO BE PROVIDED TO ALL PROPOSED GARDEN BED, AND TURF AREAS.
- DIMENSIONS ARE IN MILLIMETERS LEVELS SHOWN ARE IN METERS DO NOT SCALE ANY DRAWINGS.

IRRIGATION

TREES AND PLANTING BEDS IN FEATURE LANDSCAPE AREAS ARE TO BE IRRIGATED BY AN AUTOMATICALLY CONTROLLED DRIP IRRIGATION SYSTEM, OR APPROVED

SIMILAR

THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO SUIT THE FOLLOWING:

- THE WATER REQUIREMENTS OF PLANT TYPES.
- THE INFILTRATION RATE OF THE SOIL AS WELL AS SEASONS, EXPOSURE, TOPOGRAPHY AND ANY LOCAL AUTHORITY RESTRICTIONS.
- ADJUSTMENT OR SHUT DOWN DURING AND AFTER PERIODS OF PROLONGED HEAVY RAIN

PLANTING ESTABLISHMENT AND MAINTENANCE PERIOD

THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT THE DATE OF PRACTICAL COMPLETION IS TO BE MAINTAINED FOR THE PLANTING ESTABLISHMENT PERIOD.

LANDSCAPE MAINTENANCE IS TO BE UNDERTAKEN FOR A PERIOD OF 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION DURING WHICH TIME THE CONTRACT AREAS ARE TO BE MAINTAINED AND ANY DEFECTS,

WHICH BECOME APPARENT, ARE TO BE RECTIFIED. WORK IS TO INCLUDE BUT SHALL NOT BE LIMITED TO:

- WEEDING: WEEDS ARE TO BE REMOVED FROM LAWN, GARDEN BED AREAS AND PAVEMENT BY HAND OR ENVIRONMENTALLY ACCEPTABLE CHEMICAL APPLICATION.
- FERTILISING: APPROVED FERTILISER IS TO BE APPLIED IN ACCORDANCE WITH PLANT TYPE AND SEASONAL GROWTH REQUIREMENTS.
- PRUNING: PRUNING WORKS ARE TO BE CARRIED OUT TO ENHANCE PLANT VIGOUR, MAINTAIN DENSE FOLIAGE AND REMOVE SAFETY HAZARDS OR DEAD AND DAMAGED MATERIAL. MAJOR TREE PRUNING OR LOPPING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED TREE SURGEON/ARBORIST.
- STAKES AND TIES: TREE STAKES AND TIES ARE TO BE ADJUSTED AND REPLACED AS REQUIRED AND REMOVED WHEN THE PLANT HAS ACHIEVED A STABLE CONDITION.
- INSECT AND DISEASE CONTROL: PESTS AND DISEASES THAT MAY AFFECT THE PLANTS ARE TO BE CONTROLLED BY NATURAL OR APPROVED CHEMICAL METHOD.
- MOVING: AS REQUIRED DEPENDING ON SEASONAL CONDITIONS AND TURF HEIGHT.
- PLANT REPLACEMENT: FAILED, DEAD OR DAMAGED PLANTS ARE TO BE REPLACED WITH PLANTS OF THE SAME SPECIES AND SIZE.
- WASTE REMOVAL: NO WASTE IS TO BE LEFT ON SITE. WASTE IS TO BE DISPOSED AT A DESIGNATED WASTE REMOVAL SITE.
- EXISTING PLANTING AND GRASS: EXISTING GRASS AND PLANTING WITHIN THE LANDSCAPE CONTRACT AREA IS TO BE MAINTAINED IN THE SAME WAY AS NEW GRASS OR PLANTING.
- HARDWORKS: LEAVES, MULCH AND ORGANIC DEBRIS ARE TO BE REMOVED FROM PAVEMENT AND DRAINS. ANY DEFECTIVE PAVEMENTS ARE TO BE MADE GOOD.
- IRRIGATION: ALL COMPONENTS ARE TO BE CHECKED FOR PROPER OPERATION. DAMAGED COMPONENTS ARE TO BE REPAIRED OR REPLACED WITH PARTS FROM THE SAME MANUFACTURER. DIRT OR FOREIGN MATTER ARE TO BE FLUSHED FROM THE SYSTEM AND ANY BLOCKAGES CLEARED.

NOTE

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Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.

- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
- Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
- All existing trees shown as retained to be protected as per arborist report and landscape specification.
- Refer to architect's drawings for final internal footprint, FFL of the proposed building.
- Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
- Locate and protect all underground services prior to any excavation.
- The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kate Gong AILA #12247

P4	14/08/2024	ISSUE FOR COORDINATION
P3	14/06/2024	DRAFT PARTS ISSUE
P2	06/03/2024	PRELIMINARY ISSUE FOR REVIEW
P1	29/02/2024	PRELIMINARY ISSUE FOR REVIEW
REV	DATE	DESCRIPTION

PRELIMINARY NOT FOR TENDER OR CONSTRUCTION

PROJECT:

35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW

ARCHITECT:

DEM

CLIENT:



Homes NSW

4 Parramatta Square (4PSQ)

12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 521
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chateau NSW 2067

APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724

DRAWING TITLE

COVER SHEET & GENERAL NOTE

SCALE	NORTH POINT
A1	
NTS	
DRAWING NO.	ISSUE
LA-000	P4

LEGEND

GENERAL

SITE BOUNDARY

LINE OF BUILDING BELOW

LINE OF ROOF ABOVE

BUILDING OUTLINE

EXISTING CONTOUR
refer to survey

PROPOSED CONTOURS
for design intent only

PROPOSED GRADING

EXISTING LEVEL

PROPOSED SPOT LEVEL

PROPOSED TOP OF WALL LEVEL

MINIMUM SOIL DEPTH

SERVICES (by others)

WATER
refer to survey

SEWER
refer to survey & peg out

GAS
refer to survey

ELECTRICITY
refer to survey

TELECOMMUNICATION
refer to survey

SIGNAGE & POLES
existing road signage, light poles, and power poles refer to public domain drawings.

RAINWATER TANK
refer to stormwater engineer's drawings

STORMWATER PIT & GRATE DRAIN
refer to stormwater engineer's drawings

PIT
by others

FENCES & BARRIERS

FENCET TYPE 1
P.O.S fencing height varies (1m-1.5m)
refer to architect's drawing for detail heights

FENCET TYPE 2
P.O.S fencing height varies (1.2m-1.8m)
refer to architect's drawing for detail heights

FENCET TYPE 3
Proposed 1.8m boundary fence

CAR PARK BARRIER
RhinoStop® Elite Guardrail refer to architect's specification

HANDRAIL
refer to architect's specification

TACTILE GROUND SURFACE INDICATOR
refer to architect's specification

WALLING & EDGING

RETAINING WALL
masonry block wall

GARDEN EDGING
galvanised edging

SANDSTONE BOULDERS
1000L x 500W x 500H sandstone boulder

SOFTWORKS

EXISTING TREES
to be removed

EXISTING TREES
to be retained & protected
TPZ / SRZ refer to arborist's report

PROPOSED TREES
refer to planting plan & schedule

PROPOSED SRHUBS
refer to planting plan & schedule

PROPOSED GROUNDCOVERS
refer to planting plan & schedule

GARDEN BED
as detailed and specified

PROPOSED TURF
as detailed and specified

PLAYGROUND MULCH
as detailed and specified

SURFACE & FINISHES

CON
CONCRETE DRIVEWAY
design levels & extent by others

PAVING TYPE 1
exposed coloured concrete paving
at bld entrance, pedestrian path
and ramps

PAVING TYPE 2
unit paving at P.O.S, refer to
architect's specification

STEPPING STONE TYPE 1
400x400 stepping stones in
groundcovers

PLANTING SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	INDIGENOUS	NATIVE	EXOTIC	POT SIZE	MATURE HEIGHT	SPREAD	SPACING	QTY
Tree										
Ba-in	<i>Banksia integrifolia</i>	Coastal banksia		Y		75lt	4-15m	4-6m	As Shown	2
Br-po	<i>Brachychiton populneus</i>	Kurrajong		Y		75lt	15m	5m	As Shown	1
Ce-gu	<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	Y			75lt	3-6m	2-3m	As Shown	2
El-re	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	Y			75lt	9m	4m	As Shown	5
Eu-an	<i>Eucalyptus angophoroides</i>	Apple Top Box	Y			75lt	20m	12m	As Shown	2
La-db	<i>Lagerstroemia indica</i> 'Diamonds in the Dark'	Diamonds in the Dark® 'Blush'			Y	75lt	3m	2.5	As Shown	2
La-in	<i>Lagerstroemia indica</i>	Crepe Myrtle			Y	75lt	6m	3m	As Shown	6
Ma-pl	<i>Malus ioensis</i> 'Plena'	Crab Apple			Y	75lt	6m	4m	As Shown	10
Me-st	<i>Melaleuca styphyloides</i>	Prickly tea tree	Y			75lt	10m	4M	As Shown	4
Py-us	<i>Pyrus ussuriensis</i>	Manchurian Pear			Y	75lt	12m	8m	As Shown	5
Ul-pr	<i>Ulmus americana</i> 'Princeton'	Princeton Elm			Y	75lt	20m	5-15m	As Shown	3
Wa-fl	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	Y			75lt	10m	8m	As Shown	1
Shrubs										
At-nu	<i>Atriplex nummularia</i>	Old Man Saltbush	Y			300mm	1-2m	2-4m	1.5m centres	13
Az-sp	<i>Azalea spp. (mix of colours)</i>	Azaleas			Y	300mm	1m	1m	0.7m centres	2
Bu-ja	<i>Buxus japonica</i>	Japanese Box			Y	300mm	0.45m	0.5m	0.4m centres	31
Co-al	<i>Correa alba</i>	White Correa	Y			300mm	1.5m	1m	1m centres	37
Cr-sa	<i>Crowea saligna</i>	Willow Leaf Crowea	Y			300mm	0.8m	0.8m	0.5m centres	18
Da-mi	<i>Daviesia mimosoides</i>	Bacon & Eggs Pea Flower		Y		300mm	2m		1.2m centres	5
Do-ex	<i>Doryanthes excelsa</i>	Gymea Lily	Y			300mm	0.9-1.2m	0.6-0.9m	1m centres	25
Do-vi	<i>Dodonea viscosa</i>	Sticky Hop Bush	Y			300mm	2.5m	1.5m	1.2m centres	19
Ku-am	<i>Kunzea ambigua</i>	Tick Bush		Y		300mm	2.5m	2.5m	0.6m centres	5
Mu-pa	<i>Murraya paniculata</i>	Mock Orange			Y	300mm	prune to 2.5m	prune to 1m	0.8m centres	7
Ph-th	<i>Photinia x fraseri</i> 'Thin Red™' 'NP01'	Photinia			Y	300mm	3.5 m	0.6m	0.5m centres	133
Ph-re	<i>Photinia 'Red Alert'</i>	Christmas Berry			Y	300mm	prune to 2m	prune to 0.6m	0.5m centres	25
Ph-pr	<i>Philotheca myoporoides</i> 'Profusion'	Wax Flower	Y			300mm	1m	1m	As shown	10
Pr-mi	<i>Prostanthera 'Minty'</i>	Native Mint Bush	Y*			300mm	1.5m	1m	0.8m centres	47
Rh-co	<i>Raphiolepis indica</i> 'Cosmic Pink'	Indian Hawthorn			Y	300mm	1-1.5m	1-1.5m	1m centres	48
Rh-sp	<i>Rhododendron spp. (mix of colours)</i>	Rhododendron			Y	300mm	2-3m	2-3m	1.5m centres	2
St-re	<i>Strelitzia reginae</i>	Bird of paradise			Y	300mm	1.2m	1.2m	0.6m centres	4
Sy-re	<i>Syzygium australe</i> 'Resilience'	Lilly Pilly	Y*			300mm	prune to 2.5m	prune to 1m	1m centres	266
Groundcovers										
Br-mu	<i>Brachyscome multifida</i>	Swan River Daisy		Y		150mm	0.2m	0.4m	6/m2	82
Ca-ap	<i>Carex appressa</i>	Tall Sedge	Y			150mm	1.2m	0.5m	5/m2	25
Ca-gl	<i>Carpobrotus glaucescens</i>	Pig Face	Y			150mm	0.1-0.3m	2m	2/m2	114
Ch-ap	<i>Chrysocephalum apiculatum</i>	Yellow Buttons		Y		150mm	0.3-1m	0.5-1.5m	6/m2	154
Cl-mi	<i>Clivia miniata</i>	Bush Lily			Y	150mm	0.4m	0.4m	8/m2	46
Di-ca	<i>Dianella caerulea</i>	Blue Flax Lily	Y			140mm	0.3m	0.4m	6/m2	210
Di-em	<i>Dianella tasmanica</i> 'Emerald Arch'	Emerald Arch Dianella		Y		140mm	0.5-1m	0.5-1m	4/m2	20
Di-lr	<i>Dianella revoluta</i> 'Little Rev'	Little Rev Dianella		Y		200mm	0.55m	0.5m	6/m2	709
Di-re	<i>Dianella revoluta</i>	Spreading Flaxlily	Y			150mm	0.45m	0.2m	6/m2	384
Gr-gc	<i>Grevillea juniperina</i> 'Gold Cluster'	Gold Cluster Grevillea	Y*			150mm	0.3m	0.8-1m	2/m2	100
Is-no	<i>Isolepis nodosa</i>	Knobbly Clubrush	Y			tube	0.4m	0.4m	6/m2	22
Ju-us	<i>Juncus usitatus</i>	Tussock Rush		Y		tube	1.0x0.5m	0.5m	5/m2	22
Lo-li	<i>Lomandra 'Lime Tuff'</i>	Lomandra Lime Tuff	Y			140mm	0.6m	0.5m	5/m2	580
L0-lo	<i>Lomandra longifolia</i>	Basket Grass	Y			140mm	0.8m	1.2m	5/m2	22
Po-es	<i>Poa labillardierei</i>	Tussock Grass		Y		150mm	0.8m	1m	2/m2	136
Rh-af	<i>Rhagodia spinescens</i> 'Aussie Flat Bush'	Aussie Flat Bush	Y*			140mm	0.1-0.2m	1m	2/m2	36
Vi-he	<i>Viola hederacea</i>	Native Violet	Y			tube	0.1-0.2m	1m	2/m2	16

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P4	14/08/2024	ISSUE FOR COORDINATION
P3	14/06/2024	DRAFT PARTS ISSUE
P2	06/03/2024	PRELIMINARY ISSUE FOR REVIEW
P1	29/02/2024	PRELIMINARY ISSUE FOR REVIEW
REV	DATE	DESCRIPTION

PRELIMINARY
NOT FOR TENDER OR CONSTRUCTION


PROJECT:

35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW


ARCHITECT:

DEM

CLIENT:




NSW
GOVERNMENT



Homes
NSW

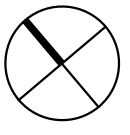
Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

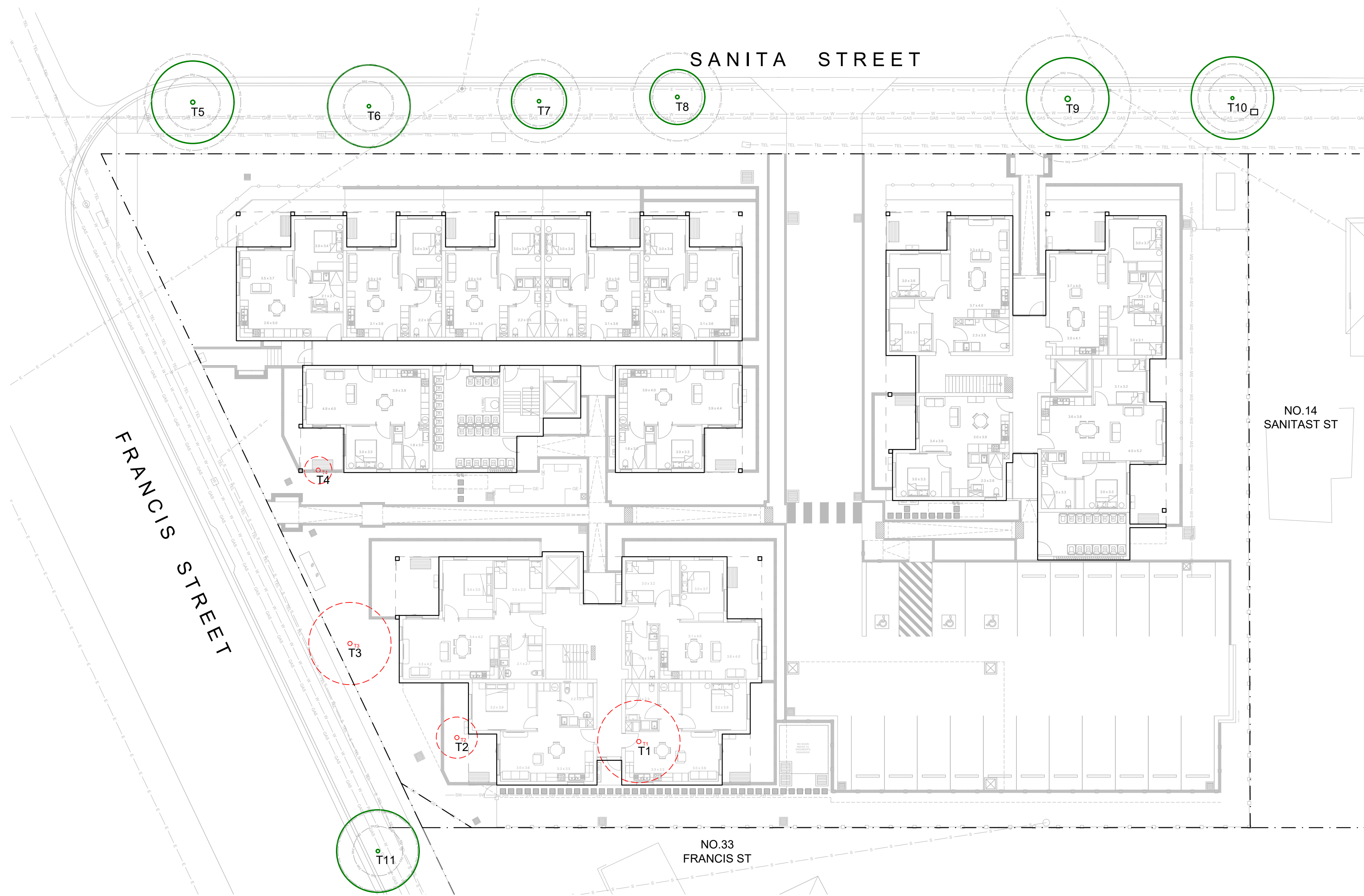


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Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chattwood NSW 2067

APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724
DRAWING TITLE	
LEGEND & PLANTING SCHEDULE	
SCALE	NORTH POINT
A1	
AS SHOWN	
DRAWING NO.	ISSUE
LA-001	P4

DRAFT



EXISTING TREE SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	SIGNIFICANCE	COMMENT
TREES TO BE RETAINED				
T5	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T6	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T7	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T8	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T9	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T10	<i>Prunus sp.</i>	Flowering Cherry	Medium	Street tree
T11	<i>Liquidambar styraciflua</i>	Sweet Gum	Medium	Street tree
TREES TO BE REMOVED				
T1	<i>Eucalyptus sp.</i>	Eucalypt	Medium	To be removed
T2	<i>Cupressus sp.</i>	Pine	Medium	To be removed
T3	<i>Cupressus sp.</i>	Pine	Medium	To be removed
T4	<i>Prunus cerasifera 'Nigra'</i>	Flowering Plum	Medium / Low – Exempt species	To be removed

NOTE:
Tree heights and TPZ refer to Arboricultural impact assessment prepared by Allied Tree Consultancy dated 2023.
Allow to demolish all tree roots for trees to be demolished and dispose properly off site

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35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW

ARCHITECT:
DEM

CLIENT:
 
Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

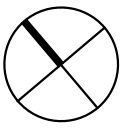
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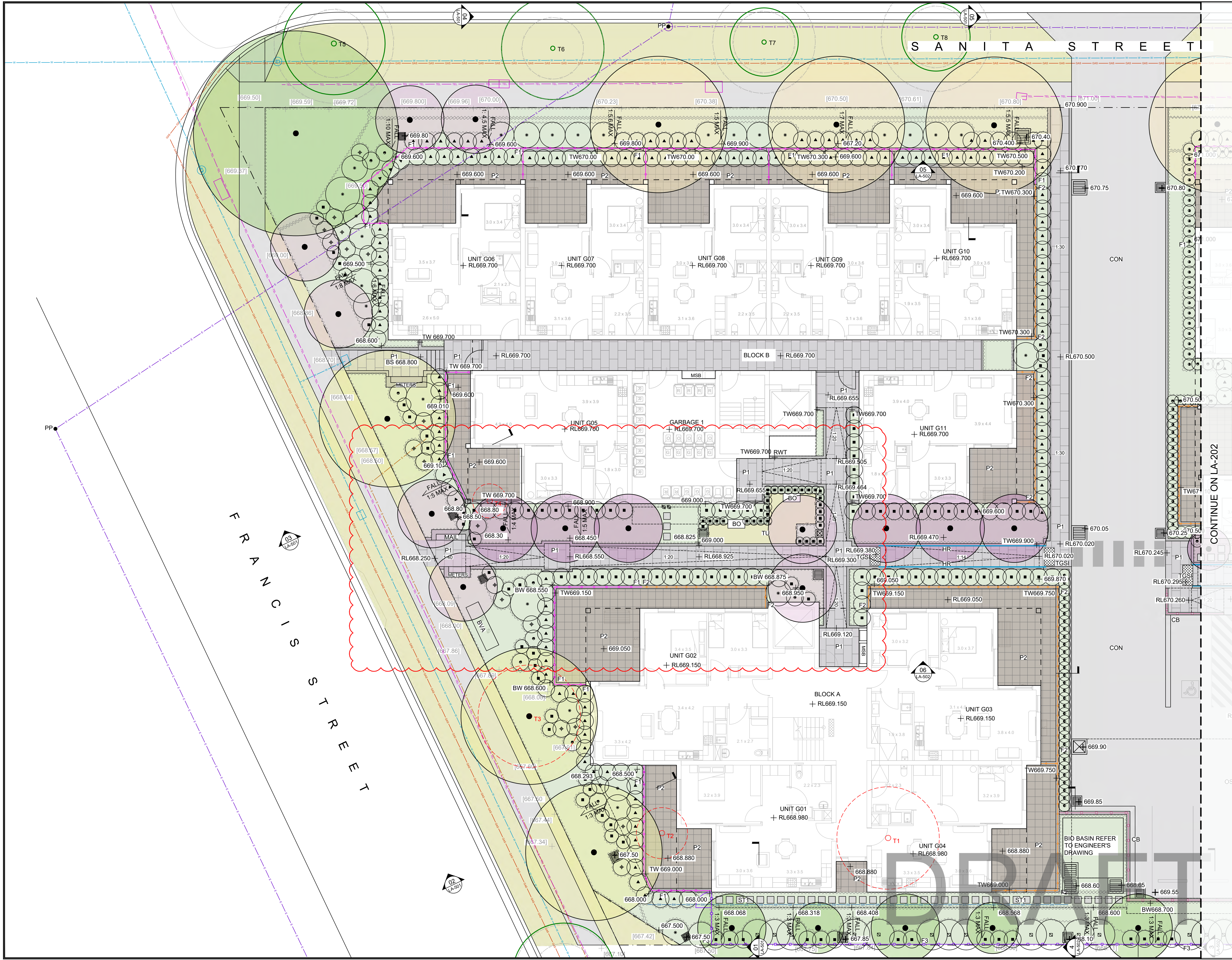
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KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724

DRAWING TITLE

EXISTING TREE PLAN

SCALE	NORTH POINT
A1 1:200	
DRAWING NO.	ISSUE
LA-002	P4

DRAFT



KEY PLAN

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35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW

ARCHITECT:

DEM

CLIENT:

Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

APPROVED

KG

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DATE CREATED

FEB 2024

PROJECT NO.

LA230724

DRAWING TITLE

GENERAL ARRANGEMENT
PLAN - SHEET 1

SCALE

A1
1:100

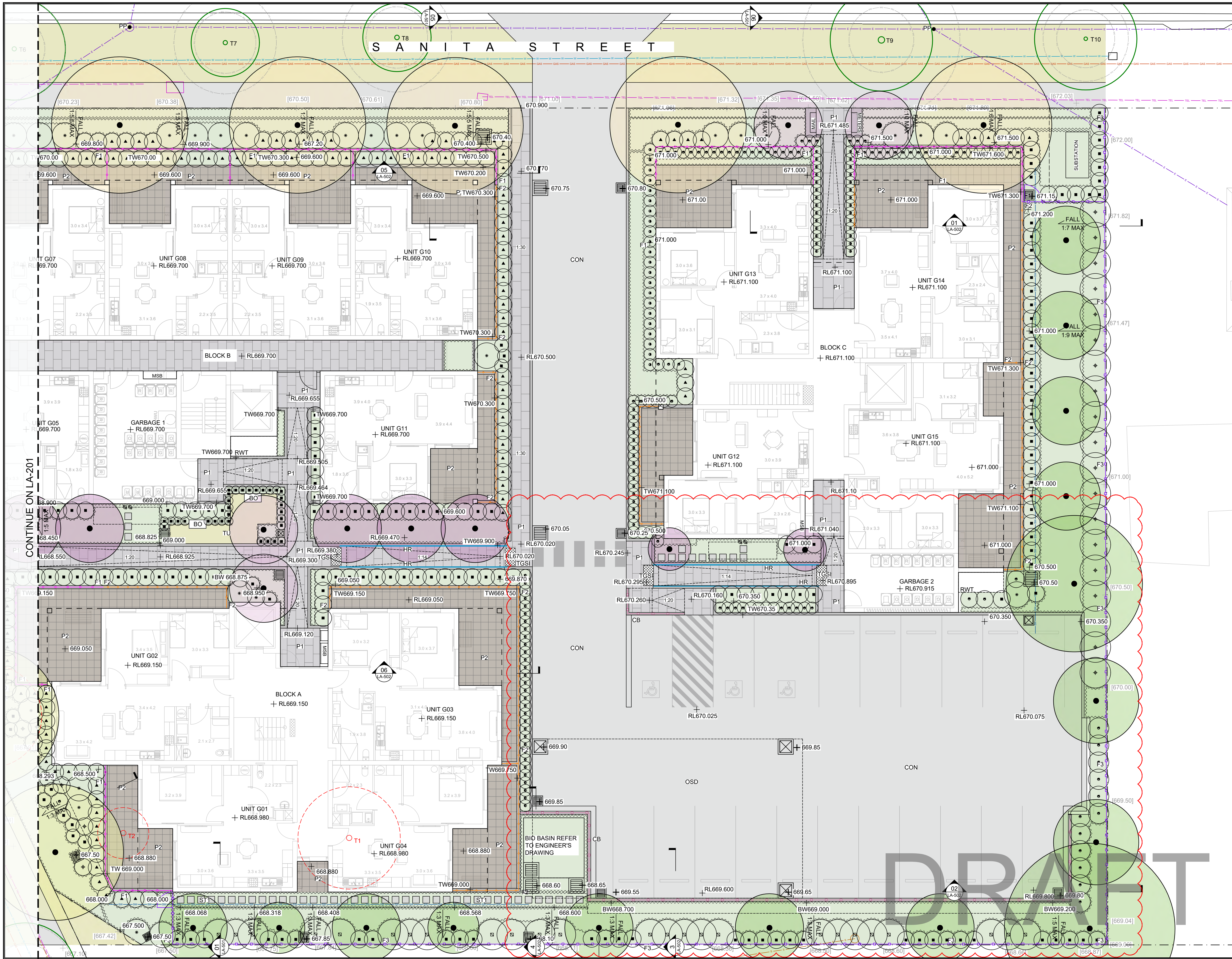
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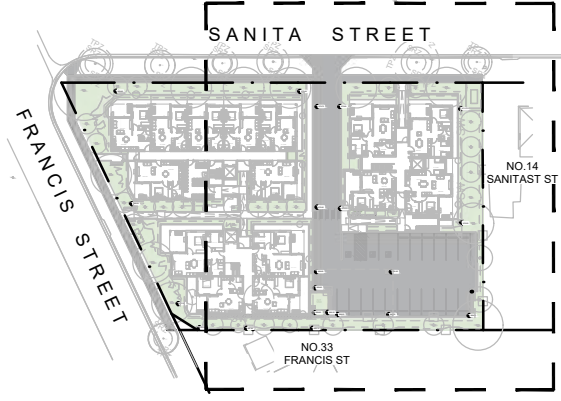
LA-201

ISSUE

P4



KEY PLAN



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35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW

ARCHITECT:
DEM

CLIENT:

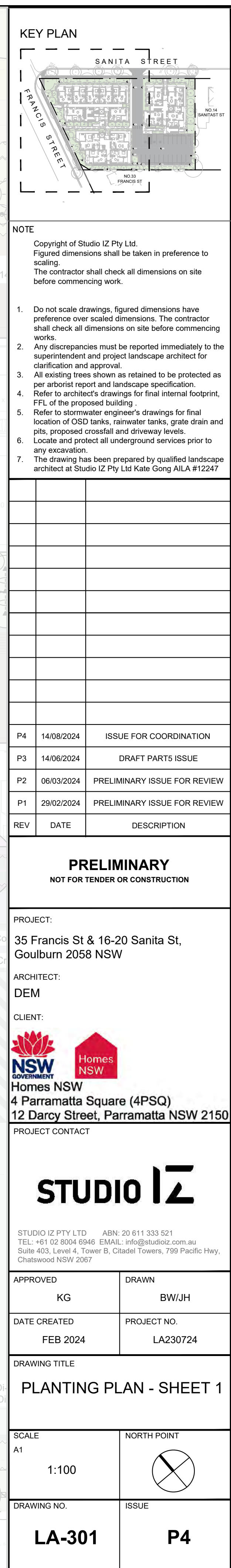
Homes NSW
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12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

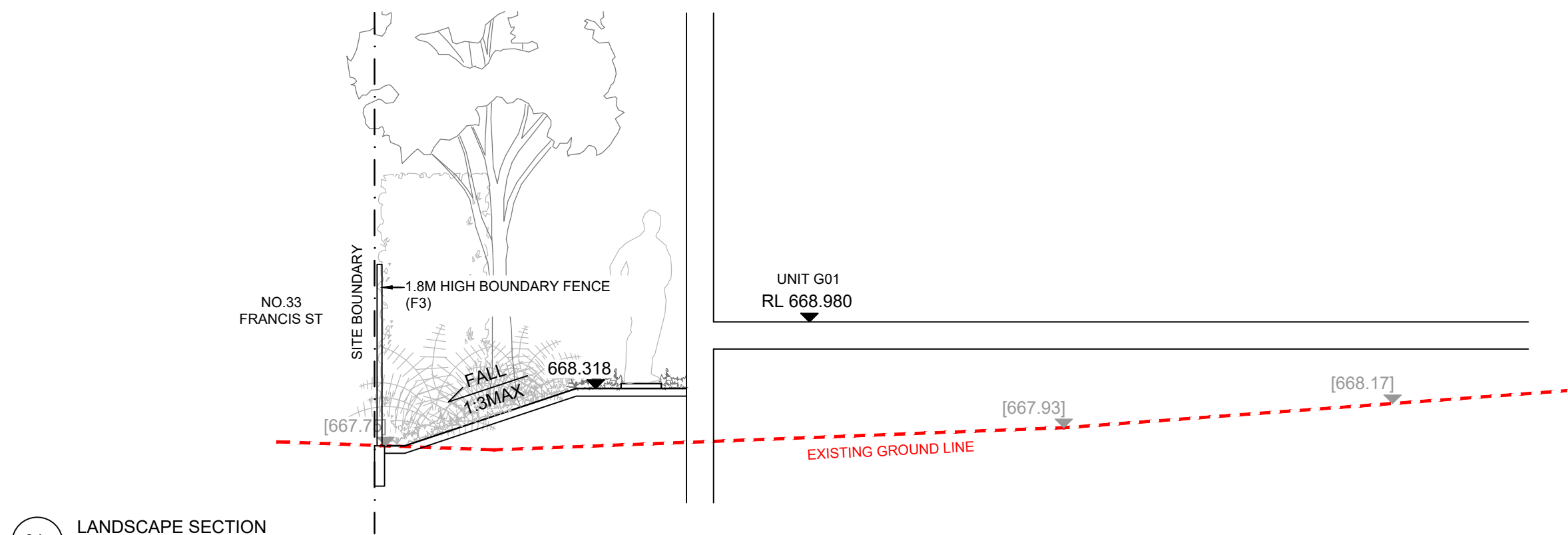
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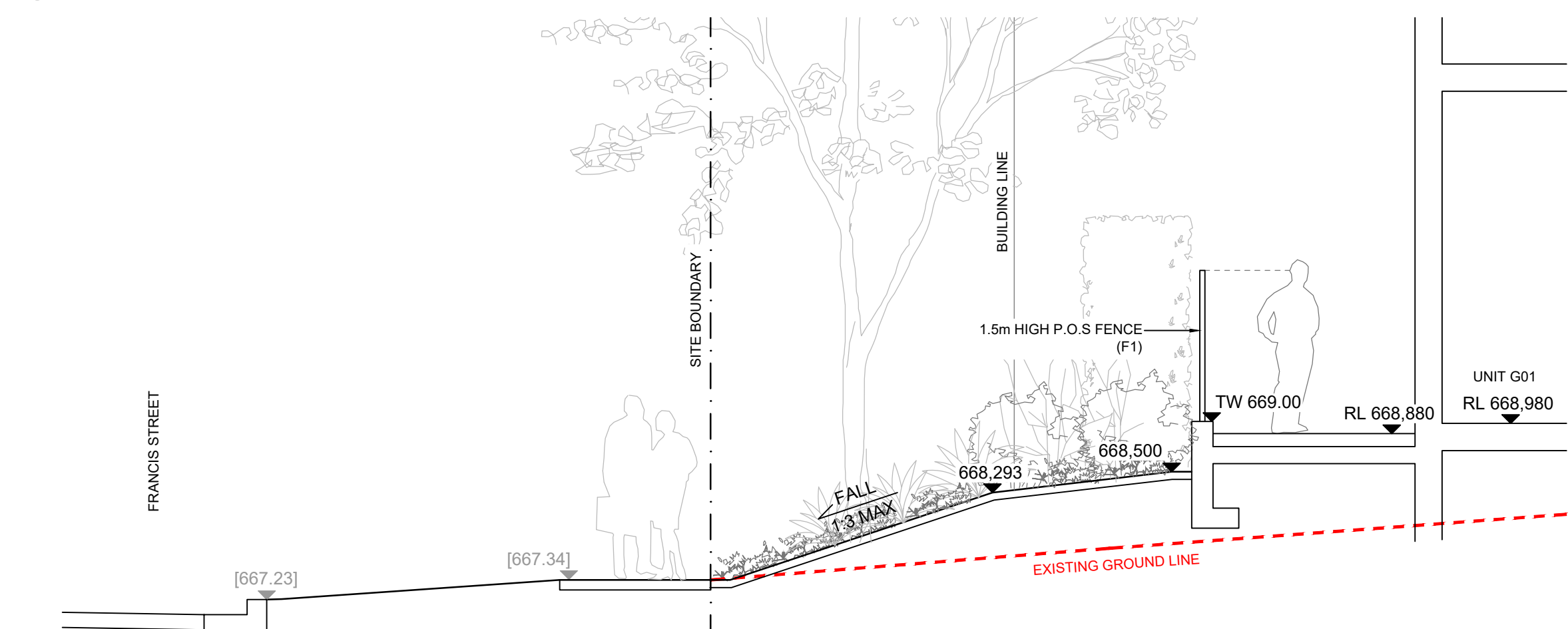
APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724
DRAWING TITLE	
GENERAL ARRANGEMENT PLAN - SHEET 2	
SCALE	NORTH POINT
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DRAWING NO.	ISSUE
LA-202	P4



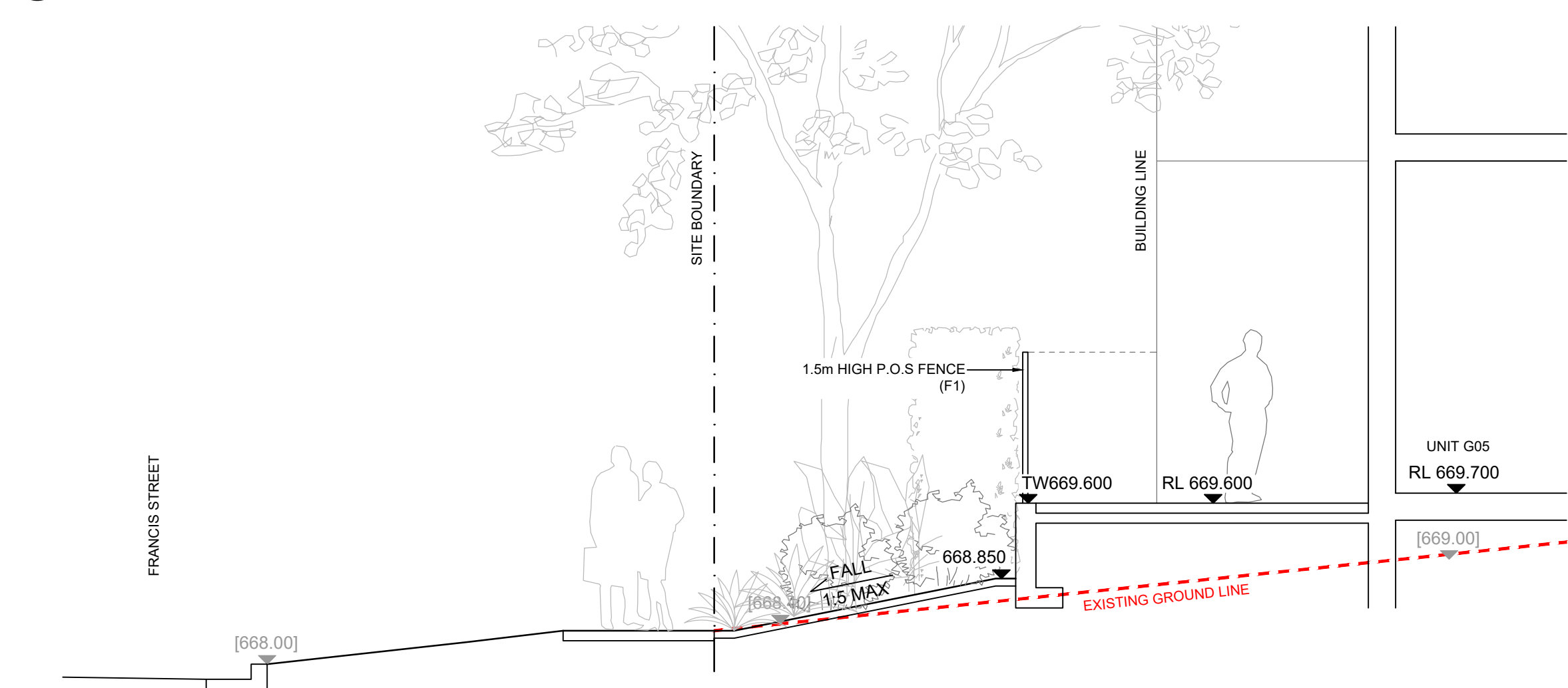
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<div>PROJECT:</div> <div>35 Francis St & 16-20 Sanita St, Goulburn 2058 NSW</div> <div>ARCHITECT:</div> <div>DEM</div> <div>CLIENT:</div> <div> </div> <div>Homes NSW</div> <div>4 Parramatta Square (4PSQ) 12 Darcy Street, Parramatta NSW 2150</div>	
<div>PROJECT CONTACT</div> <div></div> <div>STUDIO IZ PTY LTD A/BN : 20 611 333 521 TEL : +61 02 8004 6946 EMAIL : info@studioiz.com.au Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy, Chatswood NSW 2067</div>	
<div>APPROVED</div> <div>KG</div>	<div>DRAWN</div> <div>BW/JH</div>
<div>DATE CREATED</div> <div>FEB 2024</div>	<div>PROJECT NO.</div> <div>LA230724</div>
<div>DRAWING TITLE</div> <div>PLANTING PLAN - SHEET 1</div>	
<div>SCALE</div> <div>A1</div> <div>1:100</div>	<div>NORTH POINT</div> <div></div>
<div>DRAWING NO.</div> <div>LA-301</div>	<div>ISSUE</div> <div>P4</div>



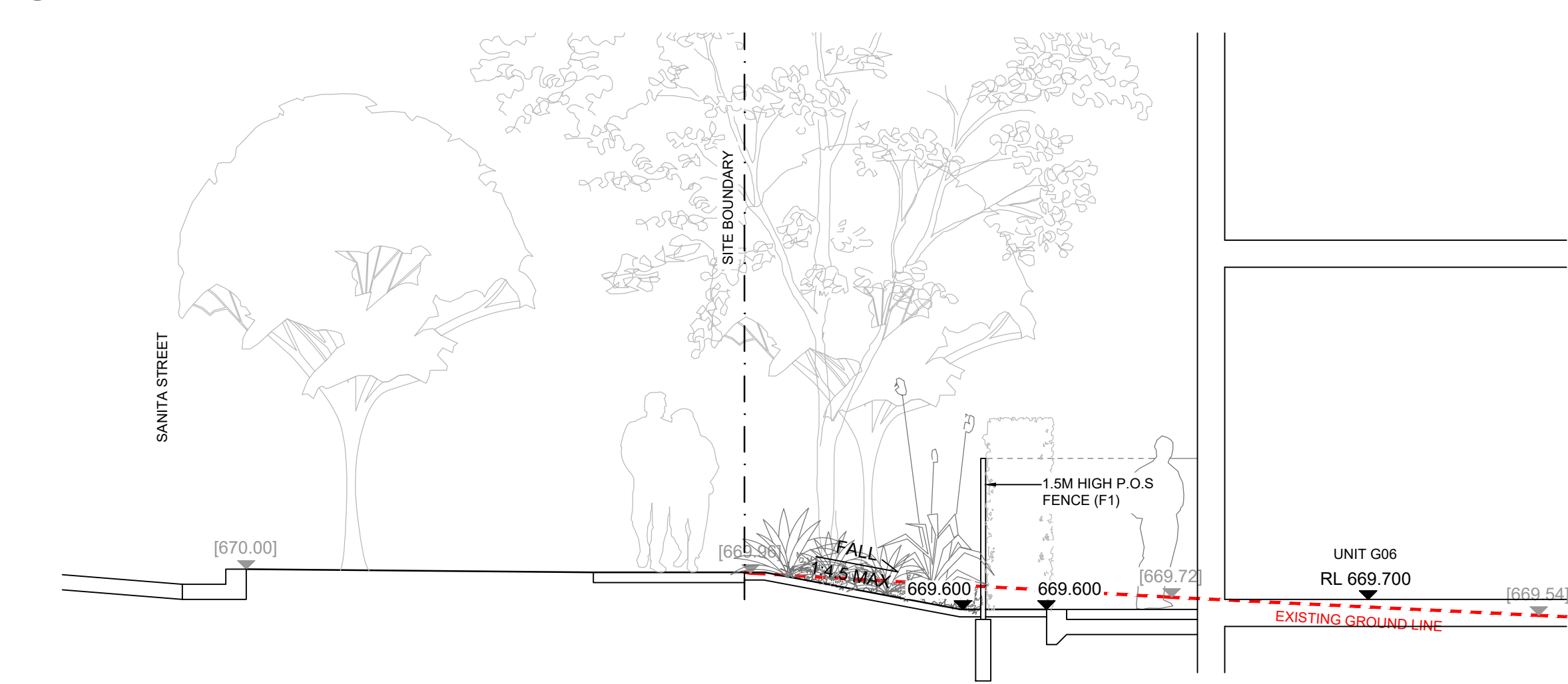
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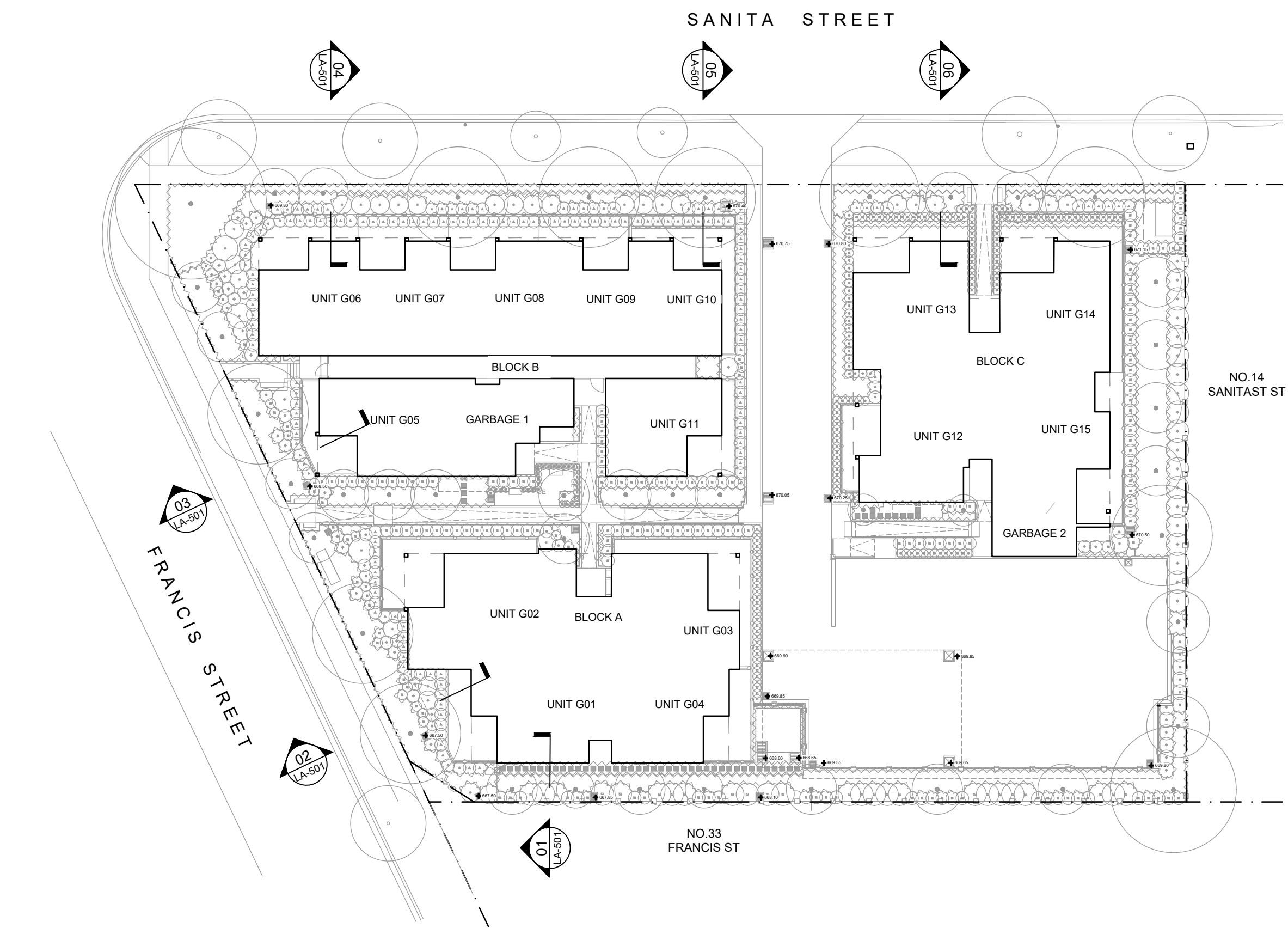
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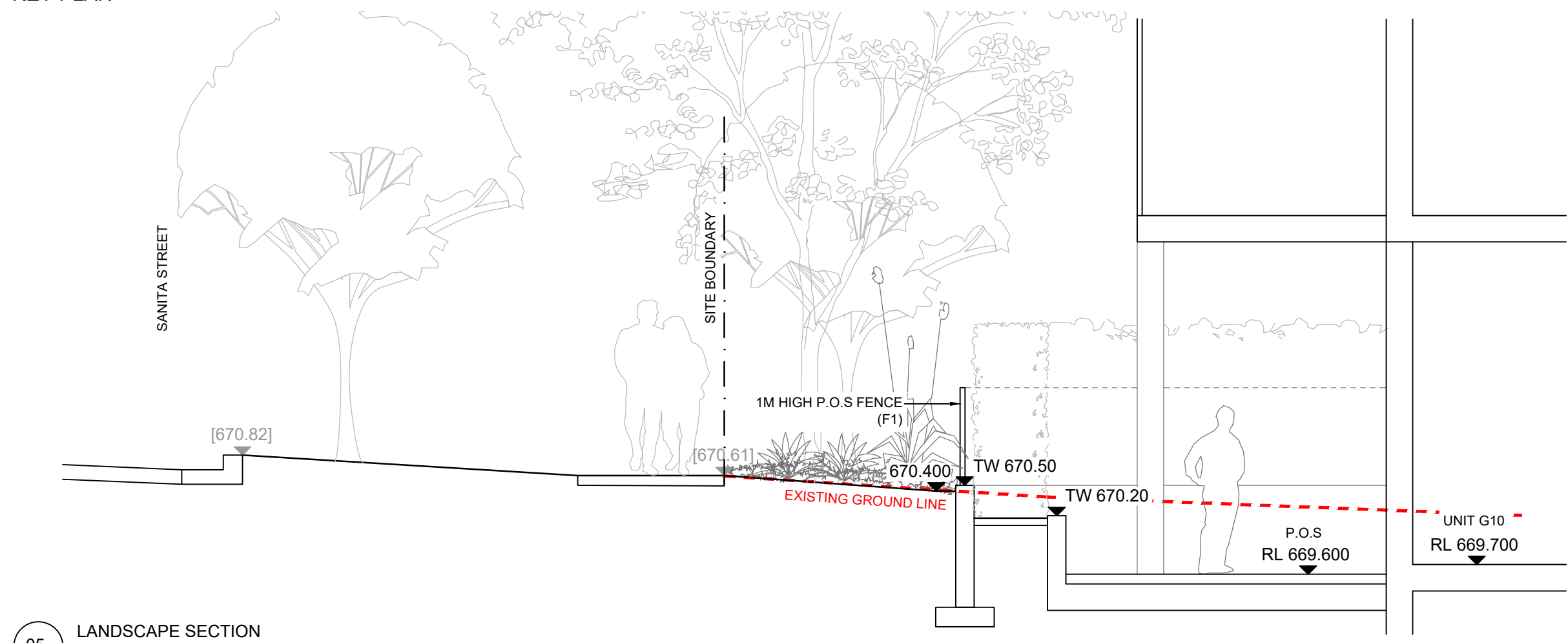
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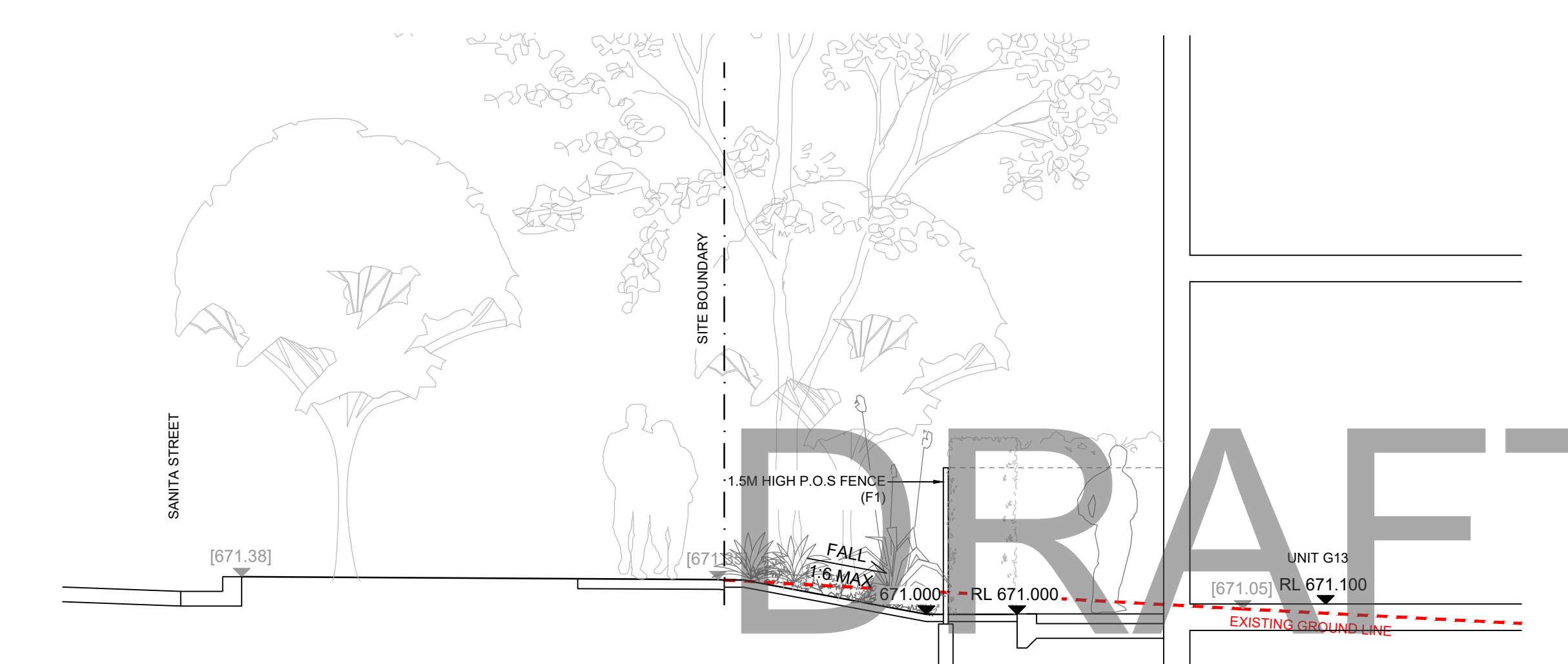
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SCALE @ 1:50 ON A1



KEY PLAN



05 LANDSCAPE SECTION
SCALE @ 1:50 ON A1



06 LANDSCAPE SECTION
SCALE @ 1:50 ON A1

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ARCHITECT:
DEM

CLIENT:
NSW GOVERNMENT
Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

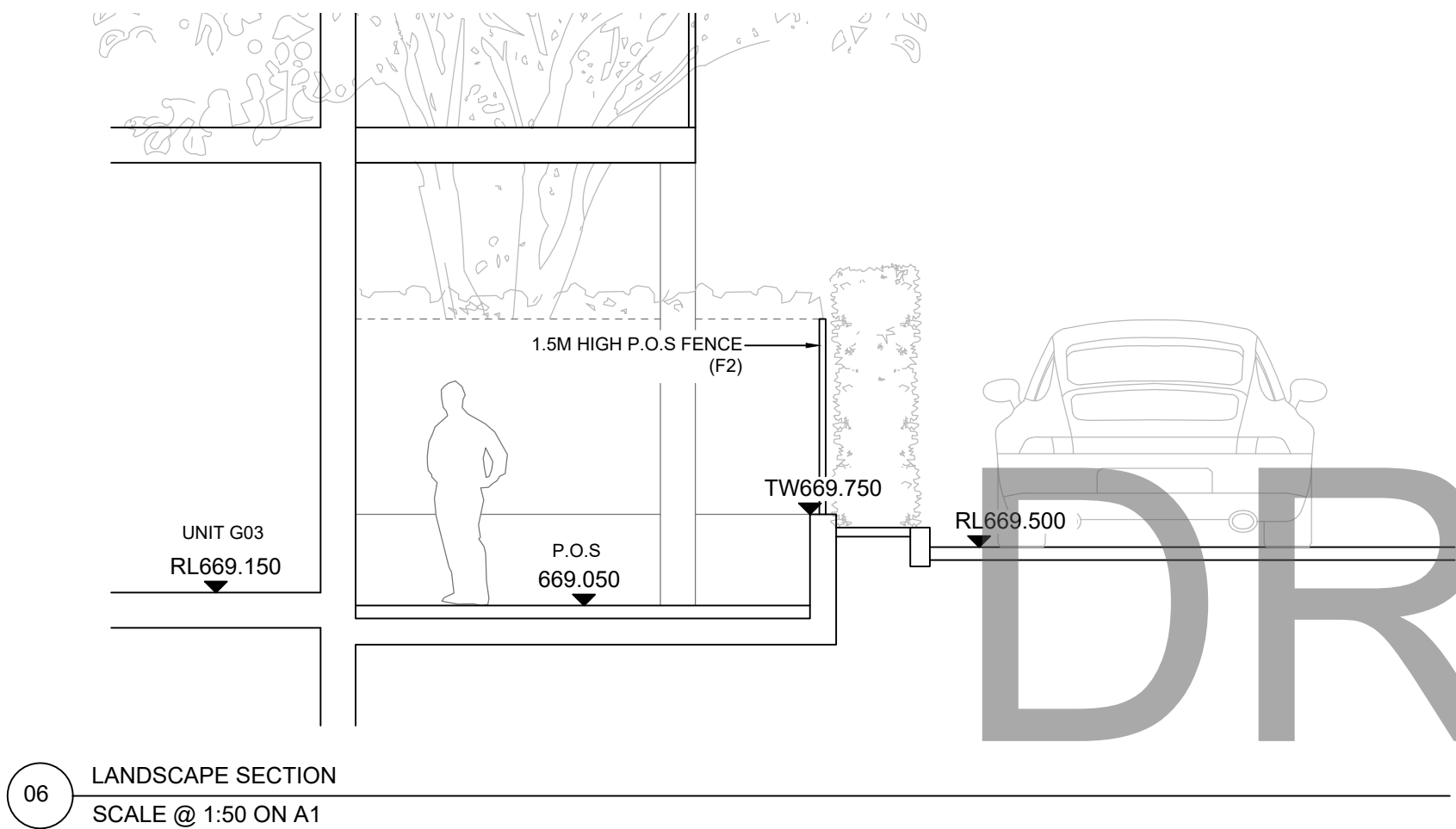
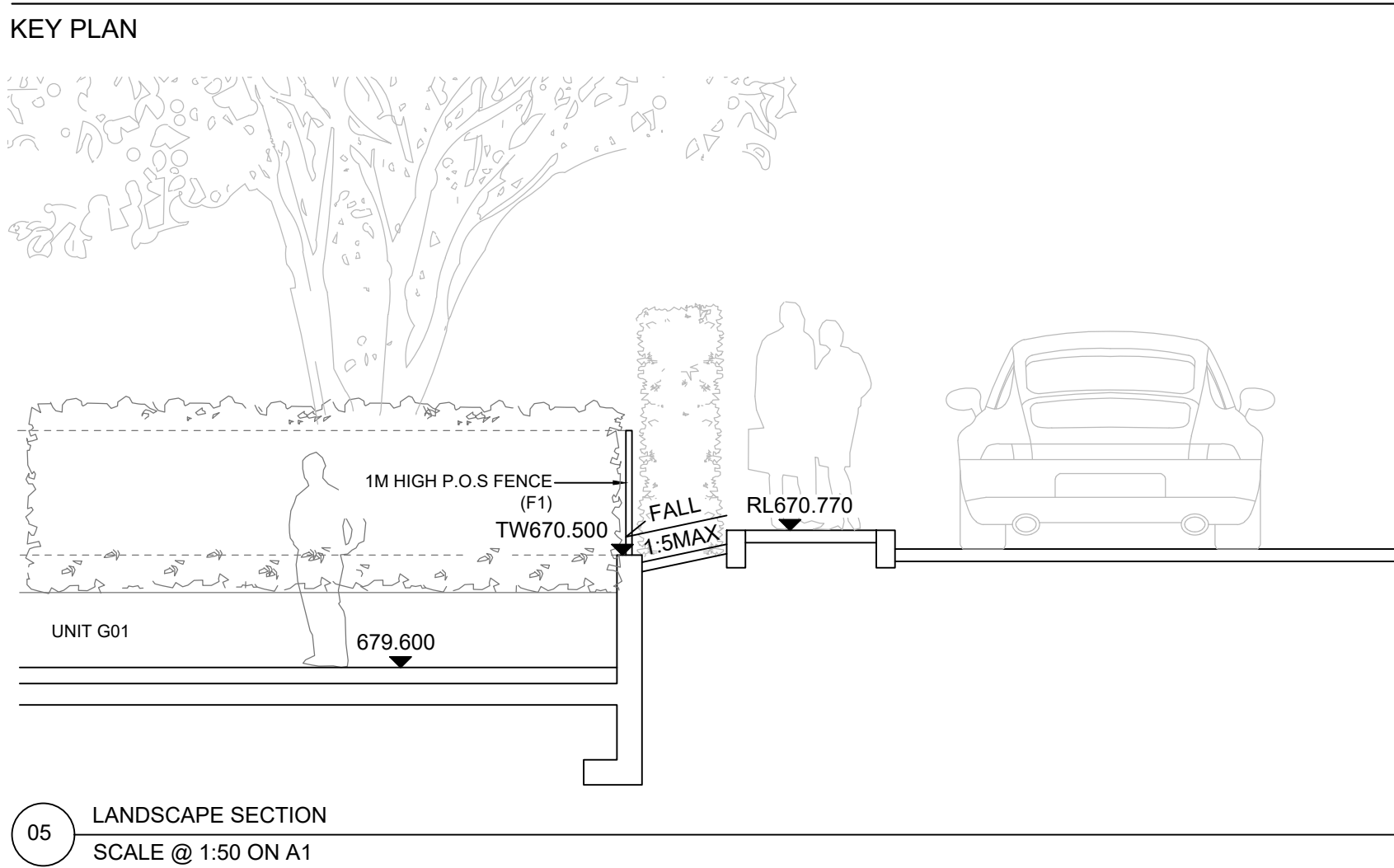
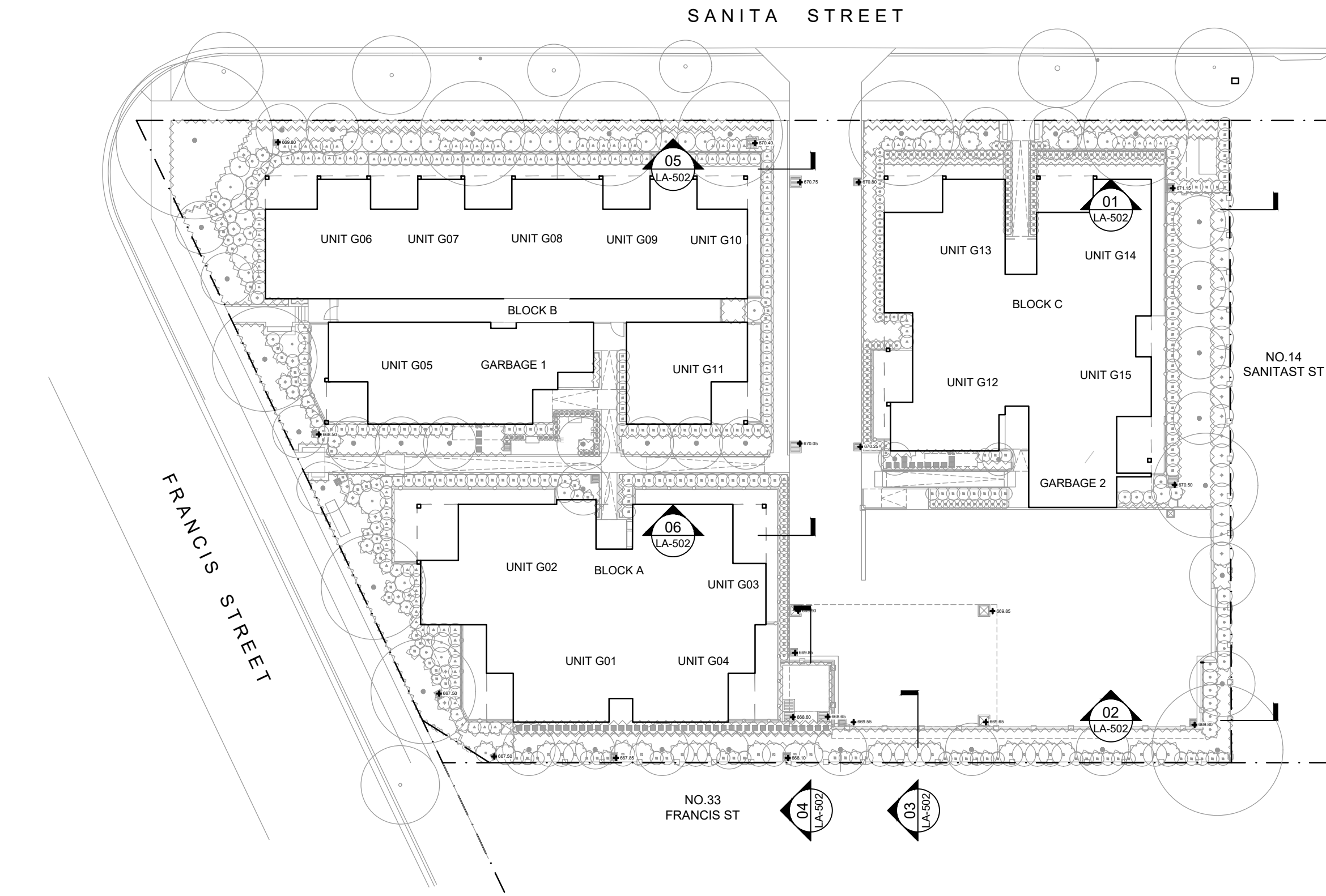
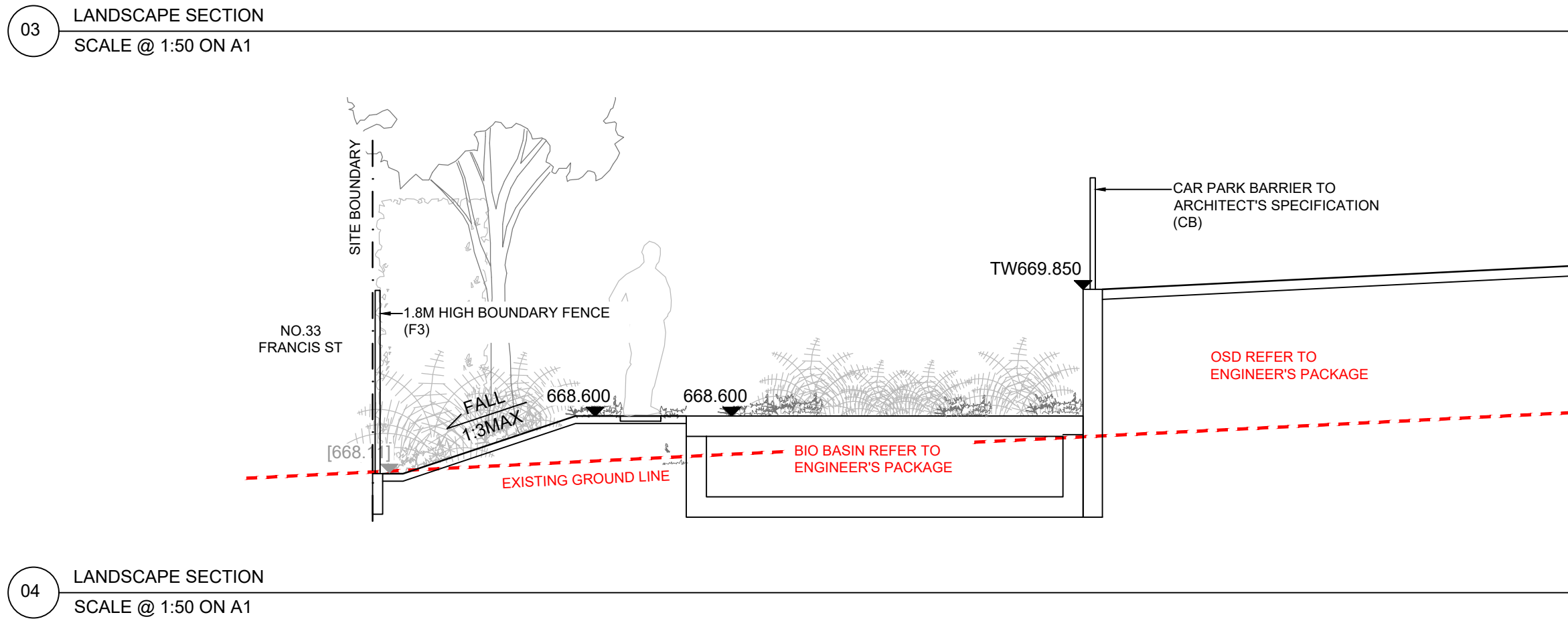
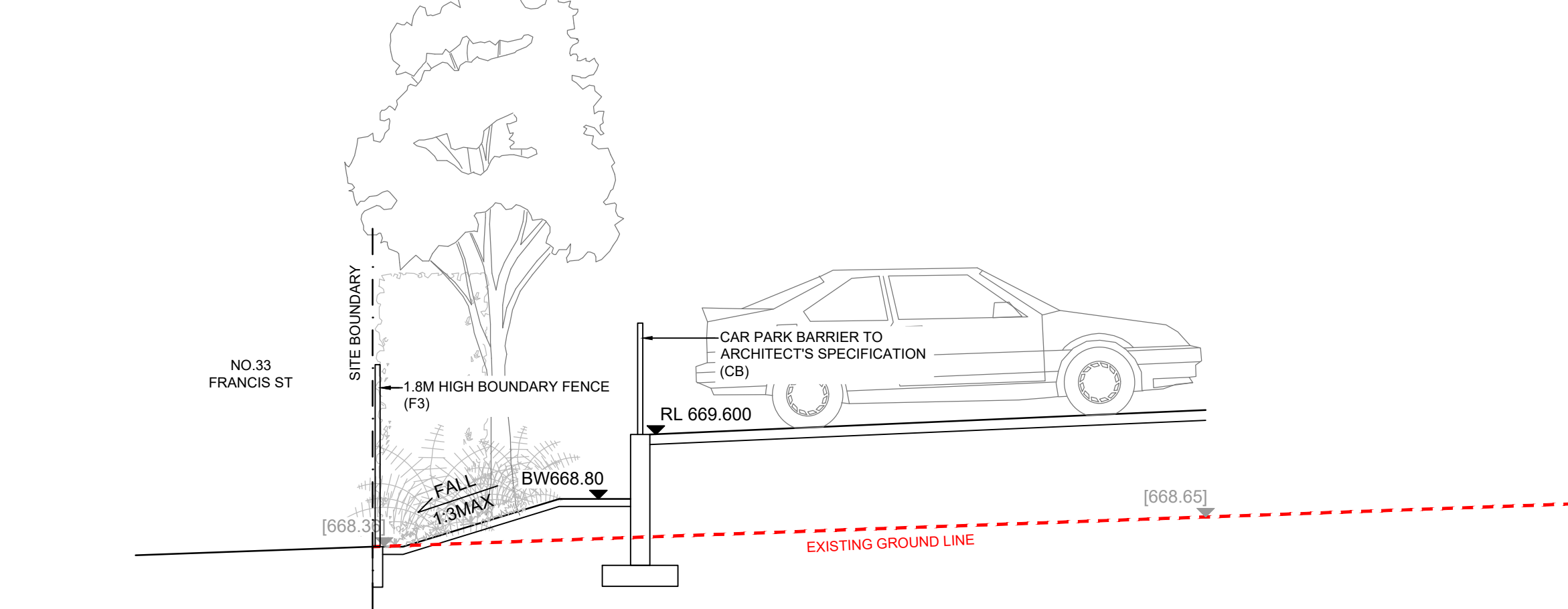
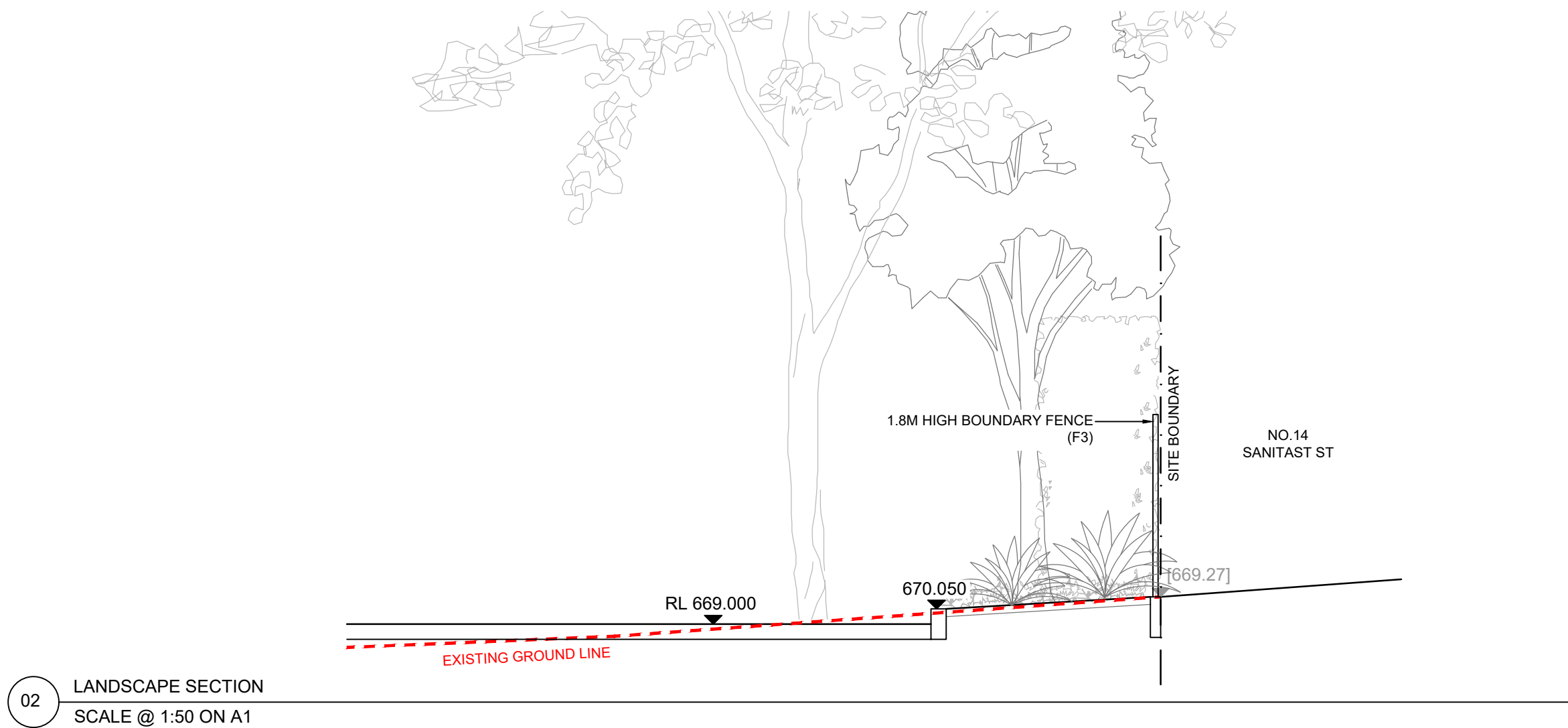
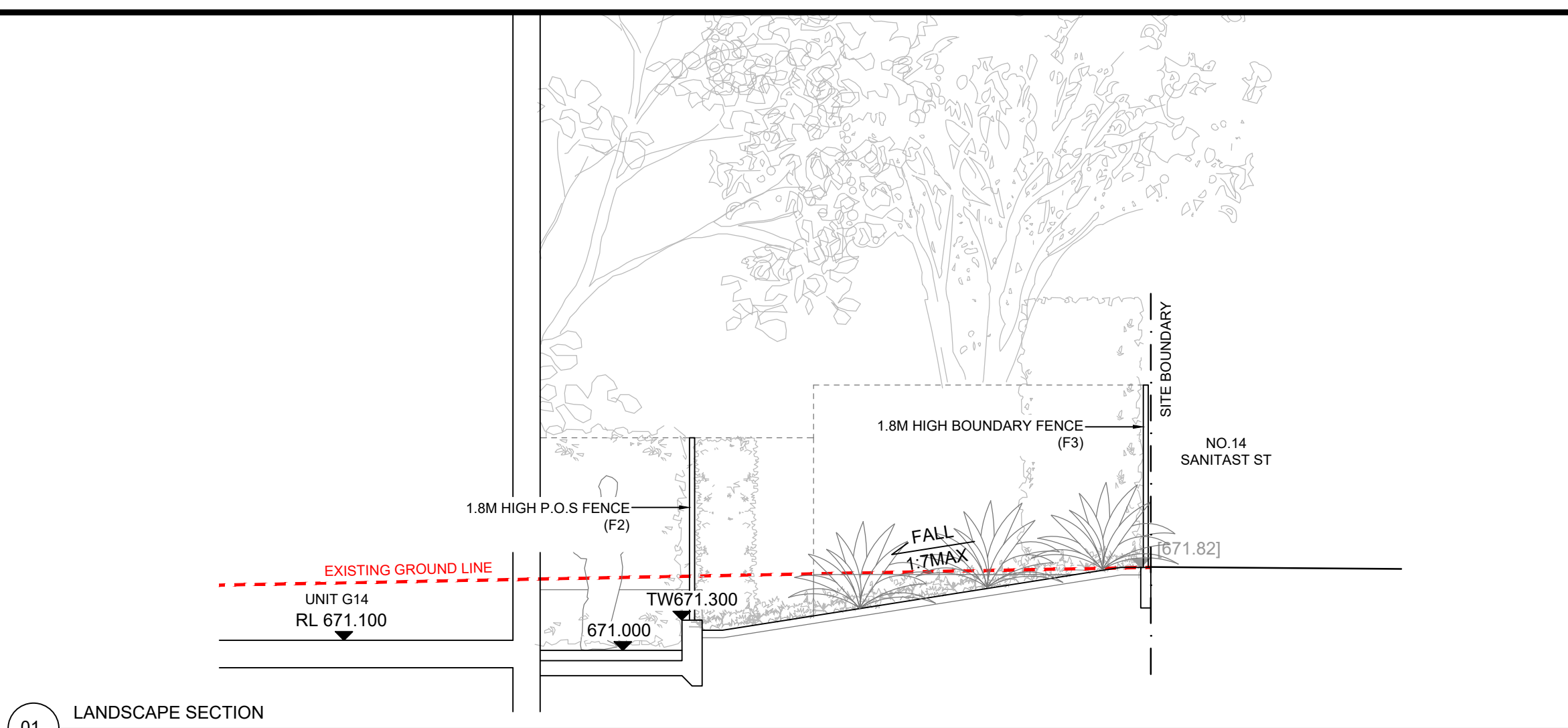
STUDIO IZ

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Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chatewood NSW 2067

APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724

DRAWING TITLE
LANDSCAPE SECTION -
SHEET 1

SCALE	NORTH POINT
A1 1:50	
DRAWING NO.	ISSUE
LA-501	P4



NOTE

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- Locate and protect all underground services prior to any excavation.
- The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kate Gong AILA #12247

REV	DATE	DESCRIPTION
P4	14/08/2024	ISSUE FOR COORDINATION
P3	14/06/2024	DRAFT PARTS ISSUE
P2	06/03/2024	PRELIMINARY ISSUE FOR REVIEW
P1	29/02/2024	PRELIMINARY ISSUE FOR REVIEW

PRELIMINARY
NOT FOR TENDER OR CONSTRUCTION

PROJECT:
35 Francis St & 16-20 Sanita St,
Goulburn 2058 NSW

ARCHITECT:
DEM

CLIENT:
Homes NSW
4 Parramatta Square (4PSQ)
12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

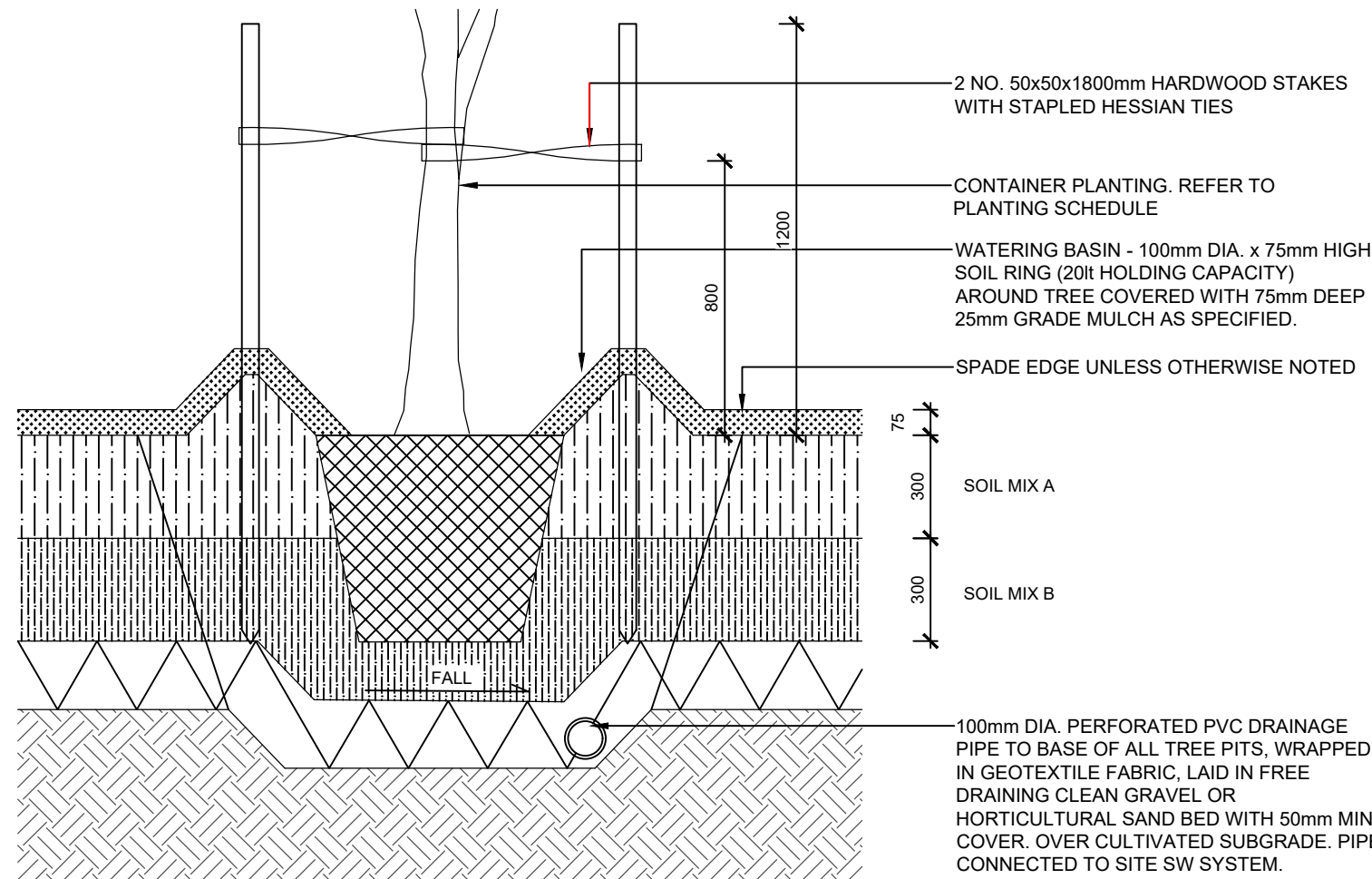
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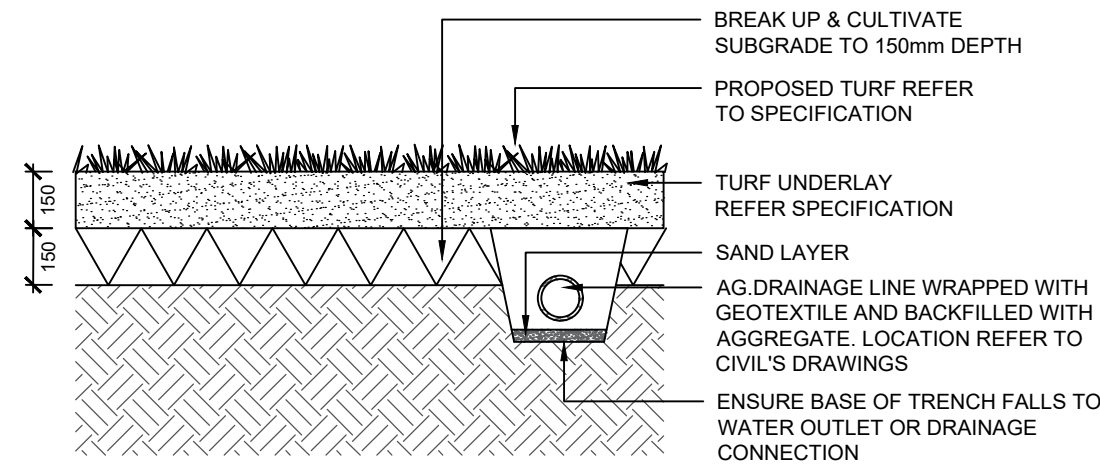
APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724

DRAWING TITLE
**LANDSCAPE SECTION -
SHEET 2**

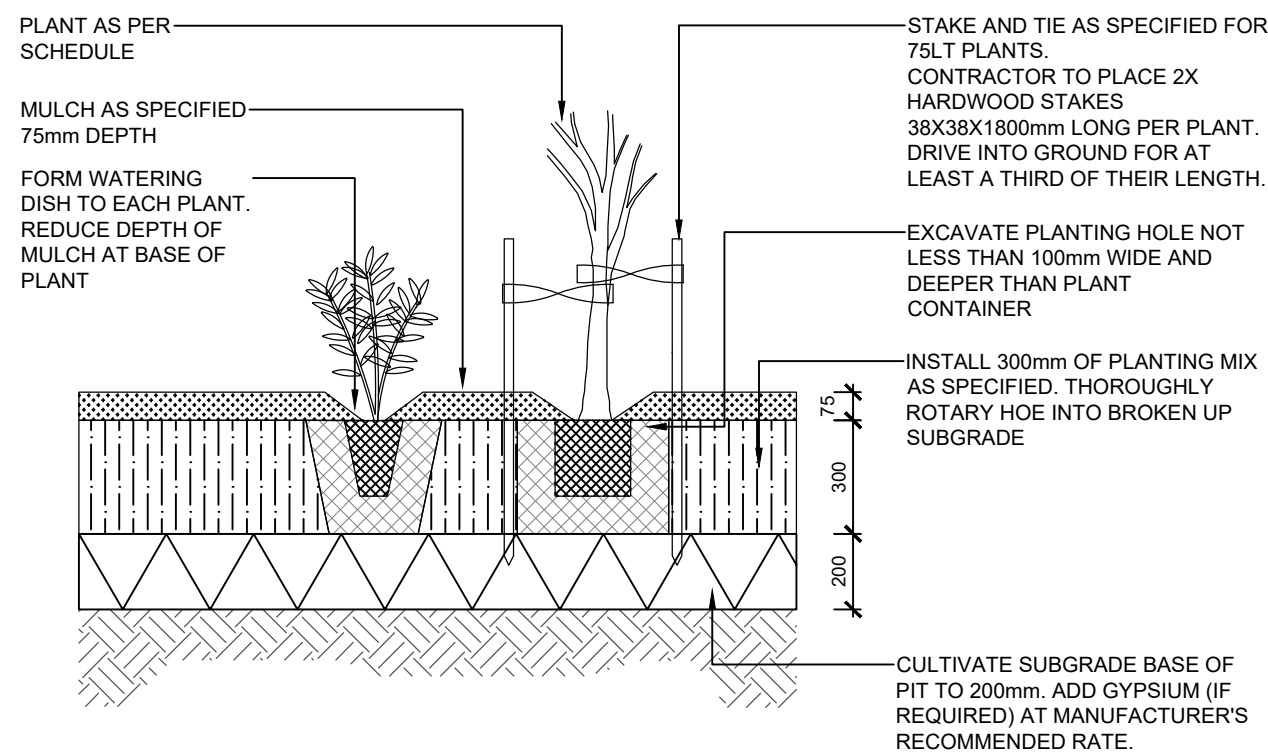
SCALE	NORTH POINT
A1 1:50	
DRAWING NO.	ISSUE
LA-502	P4



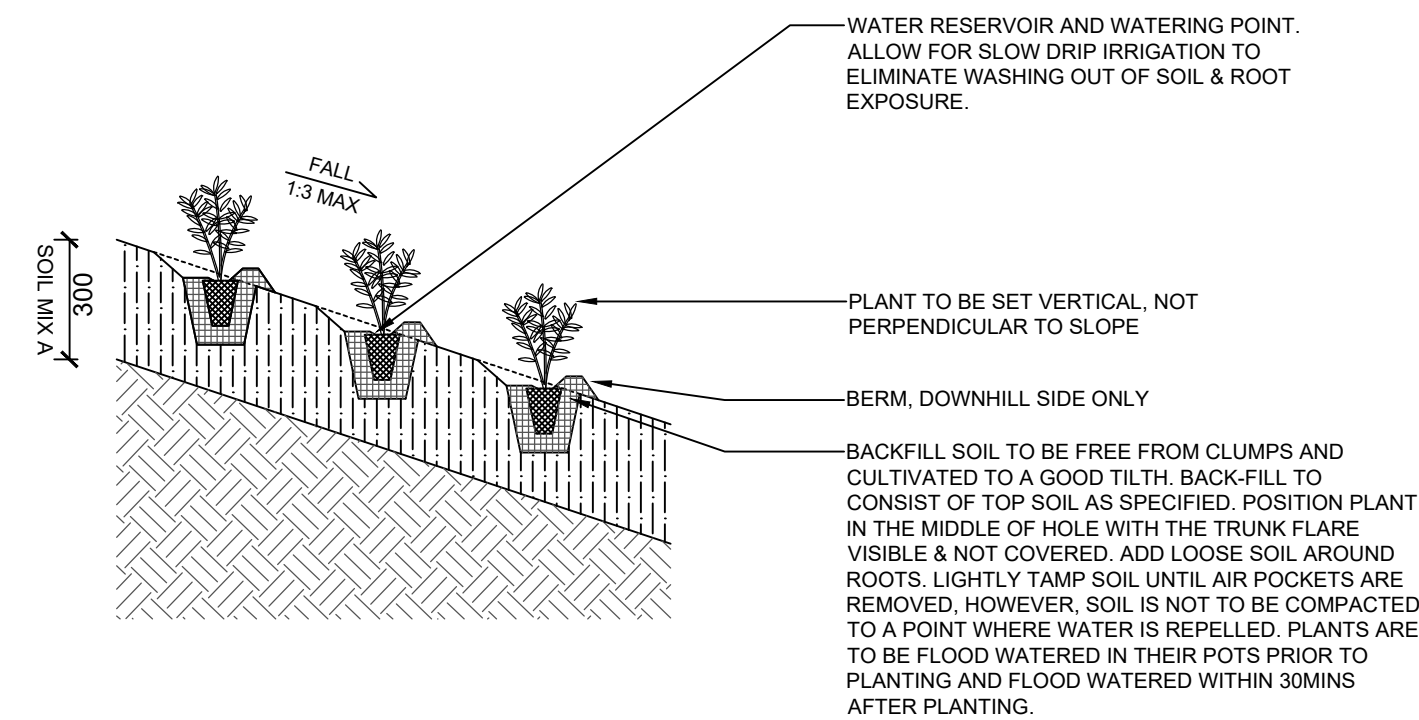
01 TREE PLANTING
TYPICAL DETAIL 1:20



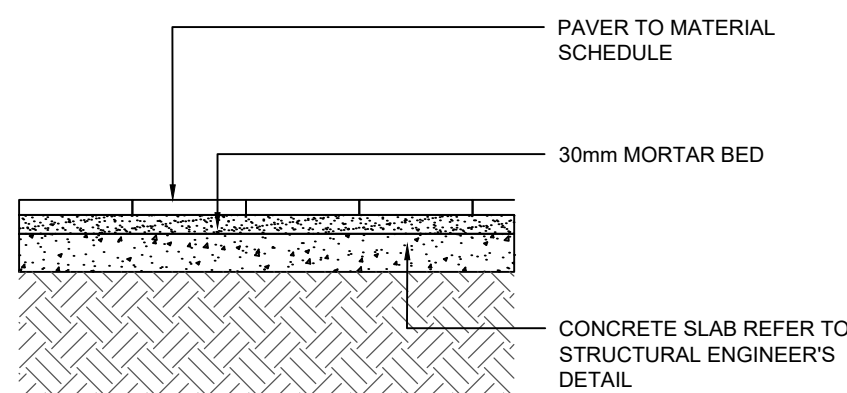
02 TURF (TU)
TYPICAL DETAIL 1:20



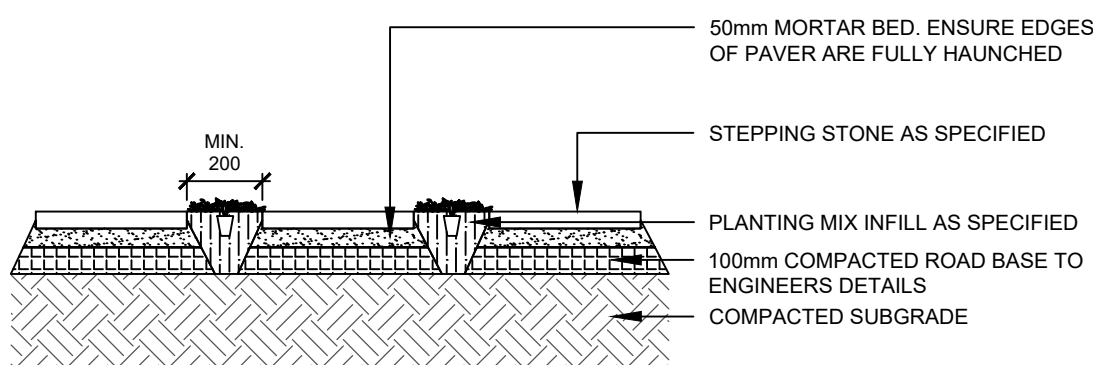
03 MASS PLANTING
TYPICAL DETAIL 1:20



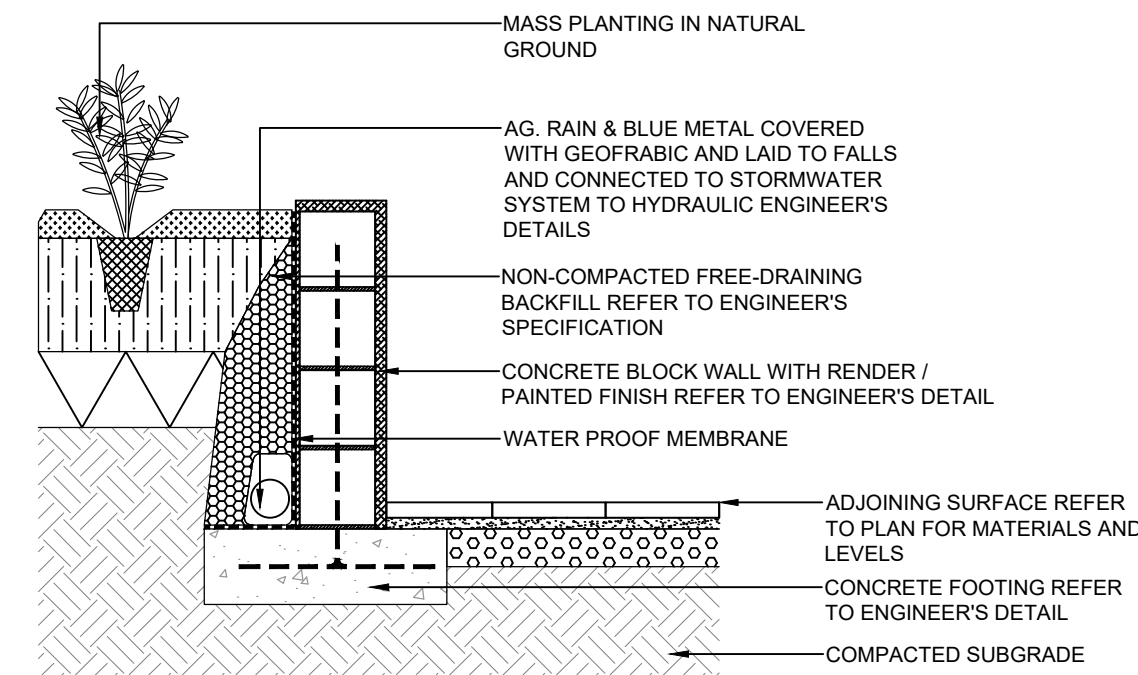
04 EMBANKMENT PLANTING
TYPICAL DETAIL 1:20



05 UNIT PAVING
TYPICAL SCALE 1:20



06 STEPPING STONE IN GARDEN BED
TYPICAL SCALE 1:20



07 CONCRETE BLOCK RETAINING WALL
TYPICAL DETAIL 1:20

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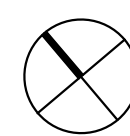
PROJECT CONTACT

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APPROVED	DRAWN
KG	BW/JH
DATE CREATED	PROJECT NO.
FEB 2024	LA230724

TYPICAL DETAILS

SCALE	NORTH POINT
A1	
1:100	
DRAWING NO.	ISSUE
LA-601	P4

DRAFT

SPECIFICATION NOTES

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on Provide all footings and fixings required for the items to be stable and in accordance with applicable codes, BCA, and Australian standards.

Garden walls, fences, steps, and Edging

Construct garden walls, fences, steps, and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, to comply with BCA, Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, heavy duty slabs, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all sub-grade / subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the sub-grade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm.

Samples

Samples to be provided for each type of landscape material for client's approval prior to ordering and installation. Confirm with superintendent for quantity of samples to be provided.

SOFTWORKS

Soil Testing

Where site soil is to be retrieved from and stored for reuse on site, undertake at least two (2) soil tests, in locations as advised by the Project Manager. Provide results and recommendations regarding soil additives for the benefit of healthy plant growth and to adjust the soil components to achieve an appropriate planting medium for successful plant development.

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges
- Smooth and free from inorganic matter, stones or clods of soil
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains
- Graded evenly to adjoining surfaces
- Ready for planting

Non-Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Organic Garden Mix' as supplied by Australian Native Landscapes. Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. Topsoil to be installed to depth of 300mm for tree and mass planting garden beds, 100mm of turf underlay should be used under turf areas.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

- Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:
- Large healthy root systems, with no evidence of root curl, restriction or damage;
 - Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
 - Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
 - Grown in final containers for not less than twelve weeks;
 - Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
 - Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary and shown on the drawings prevent soil erosion or soil movement by stabilising embankments as follows. As a minimum this should be on slopes steeper than or equal to 1:3 gradient. Stabilise embankments using biodegradable fibre reinforced heavy weight jute fabric. Lay fabric from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300mm anchor trench at top and bottom of slope, backfilled with soil over the fabric and compacted into the trenches. Using U-shaped galvanised steel pegs at 1000 mm centres generally and 250mm centres at edge overlaps, secure the fabric to the prepared soil surface. Plant through the fabric after it is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth. Mulching to be:

Pine Bark Mini Nuggets by ANL (or approved equivalent)
https://anlscapc.com.au/Products/garden-mulch/pine-bark-mini-nuggets

Stakes and ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25 lt): 1 off 38 x 38 x 1200mm;
- Semi-advanced plants (>75 lt): 2 off 50x50x 1800mm;
- Advanced (>100 lt): 3 off 50 x 50 x 2400mm.

Turfing

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

Turf to be:

TiftUf Hybrid Bermuda - By Lawn Solutions (or approved similar drought tolerant species)
https://lawnsolutionsaustralia.com.au/grass-type/tiftuf/

IRRIGATION

All proposed landscape areas shall be irrigated.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

DRAINAGE

All landscape areas are to have positive drainage to SW systems. If areas of poor drainage are identified on site then this should be brought to the site superintendents attention. Install agg lines if required.

TREE PROTECTION NOTES

- The tree protection zone (TPZ) is a radial distance measured from the centre of the trunk of the tree and calculated in accordance with AS 4970-2009 (Protection of Trees on Development Sites)
- The Structural Root Zone (SRZ) provides the bulk of mechanical support and anchorage for a tree. This is also a radial distance measured from the centre of the trunk and calculated in accordance with AS 4970-2009 (Protection of trees on development sites).
- Incursions within the SRZ are not recommended as they are likely to result in the severance of woody roots which may compromise the stability of the tree or lead to its decline and demise.
- Tree protection shall be in accordance with AS 4970-2009 (Protection of trees on development sites.)
- Tree Protection Fence - All trees within the site to be retained shall be protected prior to and during construction from all activities that may result in detrimental impact by erecting a suitable protective fence beneath the canopy to the full extent of the tree protection zone.
- As a minimum, the fence should consist of temporary chain wire panels of 1.8m in height, supported by steel stakes as required and fastened together and supported to prevent sideways movement using corner braces where required. The fence shall be erected prior to the commencement of any work on-site and shall be maintained in good condition for the duration of construction. Where tree protection zones merge together a single fence encompassing the area is deemed to be adequate. Existing site boundary fences may form part of the enclosure.
- Tree Protection Signs - Signs shall be installed on the tree protection fence to prevent unauthorised movement of plant and equipment or entry to the tree protection zone. The signs shall be securely attached to the fence using cable ties or equivalent. Signs shall be placed at minimum 10 metre intervals. The wording and layout of the sign shall comply with AS 4970-2009
- Trunk Protection - Where provision of tree protection fencing is in impractical due to its proximity to the proposed building footprint, trunk protection shall be erected around nominated trees to avoid accidental damage. The trunk protection shall consist of a layer of carpet underfelt (or similar) wrapped around the trunk, followed by 1.8m lengths of softwood timbers (90x45mm in section) aligned vertically with 2mm galvanised wire or galvanised hoop strap. Recycled timber (such as demolition waste) may be suitable for this purpose, subject to the approval of the project arborist. The timber shall be wrapped around the trunk (over the carpet underfelt), but not fixed to the tree to avoid mechanical injury or damage to the trunk. Trunk protection should be installed prior to any site works and maintained in good condition for the duration of the construction period. Carpet underfelt (alone) is sufficient for trees with a trunk diameter of less than 200mm.
- Demolition and excavation within the tree protection zones of trees to be retained shall be undertaken under the supervision of the site arborist.
- Tree Damage - Care shall be taken when operating cranes, drilling rigs and similar equipment near trees to avoid damage to tree canopies (foliage and branches). Under no circumstances shall branches be torn-off by construction equipment. Where there is potential conflict between tree canopy and construction activities, the advice of the site arborist must be sought.
- In the event of any tree becoming damaged for any reason during the construction period, a consulting arborist (Australian Qualification Framework Level 5) shall be engaged to inspect and provide advice on any remedial action to minimise any adverse impact. Such remedial action shall be implemented as soon as practicable and certified by the arborist.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants
- Pruning
- Insect and pest control
- Fertilising
- Maintaining and removing stakes and ties
- Maintaining mulch
- Mowing and top dressing
- Irrigation and watering
- Erosion control
- Weed and rubbish removal

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
- Insect, disease and pest control** - Avoid spraying:
 - if ever possible
 - in wet weather or if wet weather is imminent
 - if target plants are still wet after rain
 - in windy weather
 - if non-target species are too close

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name
 - chemical / product name
 - chemical contents
 - application quantity and rate
 - date of application and location
 - results of application, and
 - use approval authority
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name
 - Fertiliser / product name
 - Application quantity and rate, and
 - Date of application and location

- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.
- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.
- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.
- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.
- Erosion control** - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.
- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

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Goulburn 2058 NSW

ARCHITECT:

DEM

CLIENT:

NSW

GOVERNMENT

Homes

NSW

Homes NSW

4 Parramatta Square (4PSQ)

12 Darcy Street, Parramatta NSW 2150

PROJECT CONTACT

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Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chateauwood NSW 2067

APPROVED

DRAWN

KG

BW/JH

DATE CREATED

PROJECT NO.

FEB 2024

LA230724

DRAWING TITLE

SPECIFICATION NOTES

SCALE

NORTH POINT

A1

NTS

DRAWING NO.

ISSUE

LA-700

P4

APPENDIX B

HERITAGE LISTINGS

Item Details

Name
Church (1884) and Rectory
SHR/LEP/S170
LEP #I036

Address
128-130 Addison Street GOULBURN NSW 2580

Local Govt Area
Goulburn Mulwaree
Local Aboriginal Land Council
Unknown

Item Type	Group/Collection	Category
Built	Religion	Church

All Addresses

Addresses								
Records Retrieved: 1								
Street No	Street Name	Suburb/Town/Postcode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
128-130	Addison Street	GOULBURN/NSW/2580	Goulburn Mulwaree	Unknown			Unknown	Primary Address

Significance

Statement Of Significance

Christ Church is a building of local significance, designed by the first rector of West Goulburn Parish, Rev. Canon Soares c. 1884. It remains a prominent landmark in the West Goulburn area. Additions to the building have been sympathetic to the original design. The rectory next to the church is a fine example of an early 1900s home, with Gothic detailing. It was designed by E C Manfred and was originally built for A W Bullen in 1886 and extended in 1892. In 1906 Bullen was the first Shire Clerk for Mulwaree Council. The house was purchased by the Anglican Church in 1957.

Owners

Records Retrieved: 0		
Organisation	Stakeholder Category	Date Ownership Updated
No Results Found		

Description

Designer

Builder/Maker

Physical Description

Updated

Fine brick Rectory, gothic bargeboards and detailing.

Physical Condition

Updated

Modifications And Dates

Contemporary additions 1964-65.

Further Comments

Current Use

Former Use

Listings

Listings

			Records Retrieved: 1		
Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazzette Number	Gazzette Page
Local Environmental Plan	Goulburn Mulwaree Local Environmental Plan 2009	I036	2/20/2009 12:00:00 AM		

Procedures/Exemptions

Records Retrieved: 0

Section of Act	Description	Title	Comments	Action Date	Outcome
No Results Found					

History

Historical Notes or Provenance

Updated

Church Established 1884. The land in the area where the church was built appears to have been originally owned by O. Furner, as he at one time owned all the land in this area. The church purchased their land for 100 pounds. Designed and built by the Reverend Canon Soares, the first rectory (1877-1897) at a cost of 746 pounds.The chancel and sanctuary were added in 1912. The church hall was built during 1964-65. The church was extended in 1978, the original chancel and sanctuary being demolished to make way for the extensions. A rectory was built around 1884 in Gilmore Street, but was sold in favour of a closer rectory, so the house on the corner of Verner and Coromandel Sts was purchased in 1927. However, the present rectory next to the church was purchased in 1957, from the Harris family. This home "Cherry Hinton", was probably built early in the 20th century. (Sources: Grand Goulburn, Tazewell 1991; History of Goulburn, Wyatt 1941)

Historic Themes

Records Retrieved: 0

National Theme	State Theme	Local Theme
No Results Found		

Recommended Management

Management Summary

Management

Records Retrieved: 0

Management Category	Management Name	Date Updated
No Results Found		

Report/Study

Heritage Studies

Records Retrieved: 2

Report/Study Name	Report/Study Code	Report/Study Type	Report/Study Year	Organisation	Author
Goulburn Heritage Study			1983		Lester Firth Pty Ltd
Goulburn Heritage Study			1983		Lester Firth Associates Pty Ltd

Reference & Internet Links

References

Records Retrieved: 0

Type	Author	Year	Title	Link
No Results Found				

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Data Source	Record Owner	Heritage Item ID
Local Government	Goulburn Mulwaree Council	2930004

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END OF REPORT